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SITE WORK CONSTRUCTION DRAWINGS

FOR:

ROCKDALE COUNTY JUDICIAL AND ADMINISTRATIVE COMPLEX

922 COURT STREET, CONYERS, GA 30012

PREPARED FOR:

ROCKDALE COUNTY BOC 962 MILSTEAD AVE CONYERS, GA 30012

PROJECT INFORMATION

PROJECT CONTACTS

DEVELOPER/PRIMARY PERMITEE:
ROCKDALE COUNTY BOC
962 MILSTEAD AVE
CONYERS, GA 30012
CONTACT:
PHONE:

ARCHITECT:
JERICHO DESIGN GROUP
208 PIRKLE FERRY ROAD, STE C
CUMMING, GA 30040
CONTACT: DOUG SHAW
PHONE: 478-963-9392

CIVIL ENGINEER & LANDSCAPE ARCHITECT:
BREEZLOVE LAND PLANNING, INC.
15 SHARPSHILL ST NW
ATLANTA, GA 30308

LANDSCAPE ARCHITECT: GARY K. CARAWAY, R.L.A.
PHONE: (770) 483-1173
EMAIL: LANDSCAPEARCHITECT@LANDPLANNING.NET

CIVIL ENGINEER, ENGINEER OF RECORD, P.E.:
PATRICK A. ASSOCIATES, INC.
928 BLACKLAWN ROAD SW
CONYERS, GA 30094
PHONE: 770-483-9345
SURVEY DATED: 11-20-2023

BLP JOB No. 23164



208 Pirkle Ferry Road, Suite C
Cumming, GA 30040



SITE DATA

ADDRESS: 922 COURT STREET, CONYERS, GA 30012
OWNER: ROCKDALE COUNTY BOC
PARCEL ID(S): C150010001, C150010001A, C270010001, C270010002B, C270010028A, C270010028B
LAND LOTS: LL 295
DISTRICT: ND
ZONING CLASSIFICATION: DCV
SITE AREA: 6.85 ACRES
DISTURBED AREA: X.XX ACRES
EXISTING / PROPOSED IMPERVIOUS: X.XX / X.XX ACRES

24-HOUR LOCAL CONTACT RESPONSIBLE FOR EROSION, SEDIMENTATION, AND POLLUTION CONTROLS

NAME: 24HR CONTACT NAME **COMPANY:** 24HR COMPANY **PHONE:** 000.000.0000
LEVEL: 14 CERTIFICATION: 000000XXXX **EXPIRES:** 00-00-0000

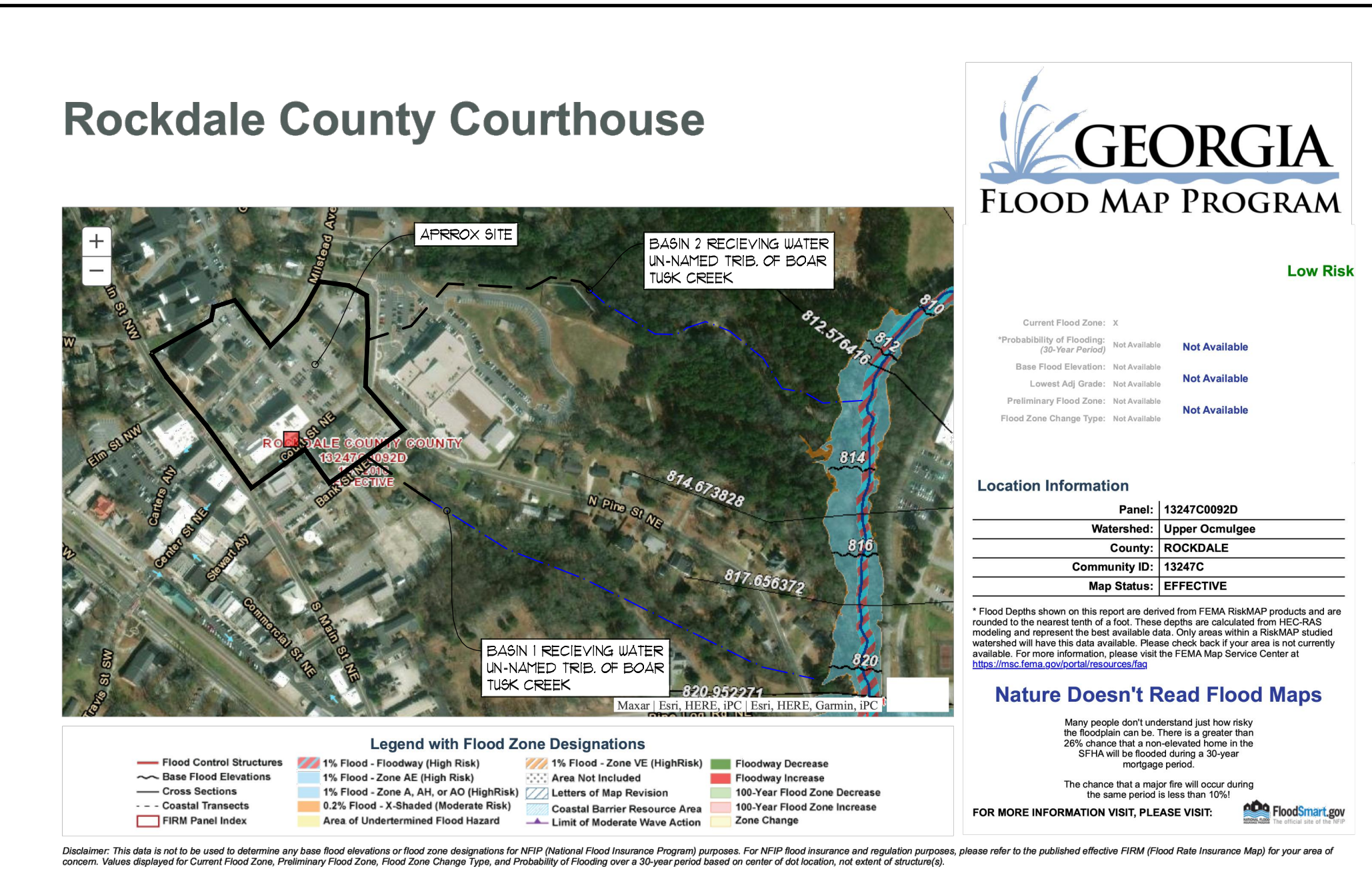
GENERAL NOTES

- NOTIFY ALL UTILITY PROVIDERS 24 HOURS PRIOR TO THE BEGINNING OF UTILITY DEMOLITION AND REMOVAL OR ADJUSTMENTS.
- NOTIFY CITY/COUNTY INSPECTOR 24 HOURS PRIOR TO BEGINNING EVERY PHASE OF DEMOLITION.
- HIGH INTENSITY LIGHTING FACILITIES SHALL BE SO ARRANGED THAT THE SOURCE OF ANY LIGHT IS CONCEALED FROM PUBLIC VIEW AND FROM ADJACENT RESIDENTIAL PROPERTY AND DOES NOT INTERFERE WITH TRAFFIC.
- ALL BUFFERS AND TREE SAVES AREAS SHALL BE CLEARLY IDENTIFIED BY FLAGGING AND/OR FENCING PRIOR TO COMMENCEMENT OF ANY LAND DISTURBANCE.
- ACCESS TO SITE DURING CONSTRUCTION SHALL BE MAINTAINED AT ALL TIMES FOR EMERGENCY VEHICLES.
- TEMPORARY SEDIMENT STORAGE FEATURES AND PERIMETER BMP'S SHALL BE CONSTRUCTED AND FULLY OPERATIONAL PRIOR TO ANY OTHER CONSTRUCTION OR GRADING.
- NECESSARY BARRICADES SUFFICIENT LIGHTS SIGNS AND OTHER TRAFFIC CONTROL METHODS AS MAY BE NECESSARY FOR THE PROTECTION AND SAFETY OF THE PUBLIC SHALL BE PROVIDED AND MAINTAINED THROUGHOUT CONSTRUCTION.
- CUT AND FILL SLOPES SHALL NOT EXCEED TWO FEET (2') HORIZONTAL TO ONE FOOT (1') VERTICAL.
- ANY DISCREPANCY FOUND BETWEEN SHEETS IN THIS SET SHALL BE REFERRED TO THE ARCHITECT FOR CLARIFICATION PRIOR TO PROCEEDING WITH ANY CONSTRUCTION ACTIVITY.
- CONTRACTOR SHALL VERIFY ALL BENCH MARKS AND EXISTING SITE CONDITIONS PRIOR TO PROCEEDING WITH DEMOLITION ACTIVITY.
- TOPSOIL SHALL BE STRIPPED AND STOCKPILED ON-SITE. NO TOPSOIL SHALL BE REMOVED FROM SITE.
- ALL CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE FEDERAL, STATE, COUNTY AND LOCAL CODES AND MINIMUM STANDARDS AND SPECIFICATIONS.
- ALL NECESSARY LICENSES AND PERMITS SHALL BE OBTAINED BY THE CONTRACTOR.
- ALL GRASSES SHALL BE FINISHED GRADES. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND GRADES.
- TREES TO BE SAVED SHALL BE PROTECTED BY THE CONTRACTOR.
- CONTRACTOR SHALL BE RESPONSIBLE FOR RELOCATING ALL EXISTING UTILITIES AS NECESSARY.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO BE IN COMPLIANCE WITH ANY AND ALL APPLICABLE NPDES PERMITS AND CLEAN WATER ACT REQUIREMENTS. CONTRACTOR SHALL BE RESPONSIBLE AS THE PRIMARY PERMITEE AND OPERATOR.
- CONTRACTION OF BACKFILL SHALL BE PER CITY OF CONYERS STANDARDS.
- THERE SHALL BE NO BURIAL OF CONSTRUCTION DEBRIS OR ORGANICS ON THIS SITE. CONTRACTOR SHALL DISPOSE OF DEBRIS IN A MANNER THAT MEETS ALL FEDERAL, STATE, COUNTY, AND LOCAL REGULATIONS SET FORTH BY THE GOVERNING AGENCY.
- CONTRACTOR SHALL PROVIDE ALL RECORD DRAWINGS "AS-BUILT" AS REQUIRED BY CITY OF CONYERS AND THIS CONTRACT.
- APPROVAL OF THESE PLANS DOES NOT CONSTITUTE APPROVAL BY CITY OF CONYERS OF ANY LAND DISTURBING ACTIVITIES WITHIN WETLAND AREAS. IT IS THE RESPONSIBILITY OF THE PROPERTY OWNER TO CONTACT THE APPROPRIATE REGULATORY AGENCY FOR APPROVAL OF ANY WETLAND AREA DISTURBANCE.
- ALL CONSTRUCTION TO COMPLY WITH CITY OF CONYERS STANDARDS.

GENERAL DEMOLITION NOTES

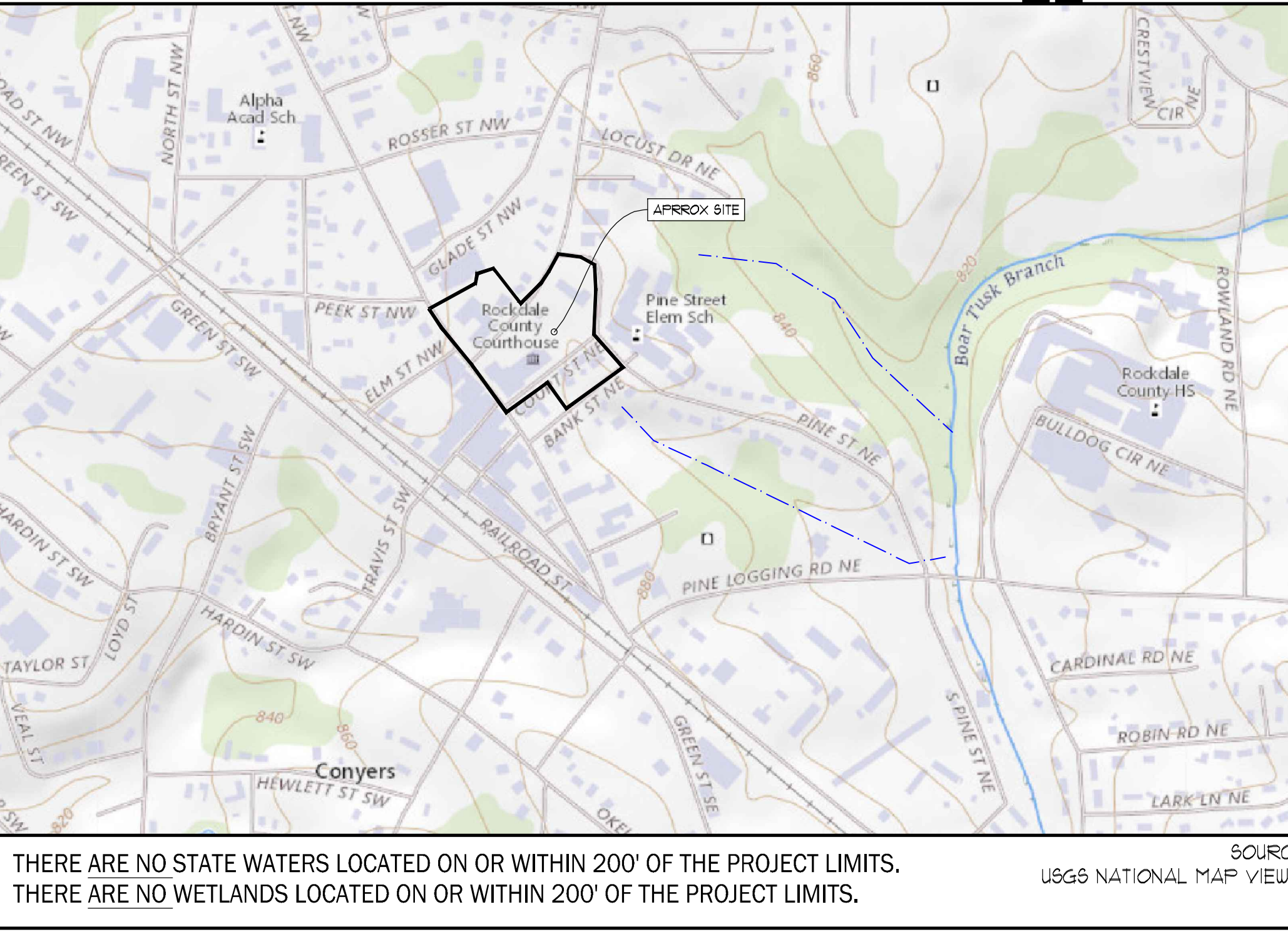
- CONTRACTOR SHALL REFER TO PHASING SECTION OF THE SPECIFICATIONS. ALL DEMOLITION SHALL BE COORDINATED WITH PHASING.
- WORK DONE AHEAD OF SEQUENCE OR FOR TEMPORARY PROVISIONS SHALL HAVE EXISTING DISTURBED SURFACES PATCHED TO MATCH ORIGINAL CONDITIONS UNTIL NEW CONSTRUCTION REPLACES SUCH REPAIRS OR MODIFICATIONS.
- CONTRACTOR SHALL PROVIDE NECESSARY EROSION CONTROL MEASURES DURING THE DEMOLITION PHASE OF CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR PROPER DISPOSAL OF ALL ITEMS REMOVED FROM SITE. DISPOSAL SHALL COMPLY WITH ALL FEDERAL, STATE, AND LOCAL CODES. THERE SHALL BE NO ON-SITE BURIAL OF DEBRIS GENERATED FROM CONSTRUCTION ACTIVITIES.
- UNLESS OTHERWISE NOTED, EXISTING ITEMS WITHIN THE PROJECT LIMITS WILL BE RETAINED IN PLACE AND PROTECTED FROM DAMAGE DURING THE CONSTRUCTION PERIOD. ANY FACILITIES THAT ARE DAMAGED WILL BE REPAIRED OR REPLACED BY THE CONTRACTOR AT HIS/HER EXPENSE.
- CONTRACTOR SHALL HAVE 4' PROTECT ALL BUILDINGS FOUNDATIONS, CANOPIES, FENCES, PLAY EQUIPMENT, ETC. ON THE PROPERTY, UNLESS OTHERWISE NOTED. DAMAGE SHALL BE REPAIRED/REPLACED BY THE CONTRACTOR AT NO COST TO THE OWNER.
- CONTRACTOR SHALL HAVE AND PROTECT ALL EXISTING STORM DRAINAGE STRUCTURES UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL OF ALL FENCING WITHIN LIMITS OF WORK UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL COORDINATE WITH OWNER THE REMOVAL ANY EXISTING LANDSCAPE MATERIALS OR SITE FEATURES WHICH THE OWNER ELECTS TO RETAIN.
- CONTRACTOR SHALL ACCOMPLISH DEMOLITION WITHIN THE DRIP-LINE OF EXISTING SPECIMEN TREES BY UTILIZING HAND LABOR PROCEDURES WITHOUT DAMAGING THE ROOT SYSTEM OF TREE.
- CONTRACTOR SHALL BE RESPONSIBLE TO MAINTAIN SAFE, CLEARLY MARKED PROFESSIONAL ACCESS ROUTES TO ALL BUILDING ENTRANCES THROUGH ALL PHASES OF CONSTRUCTION.
- CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE AWAY FROM BUILDINGS AT ALL TIMES.
- LIMITS OF CURBS AND GUTTER DEMOLITION ARE SUBJECT TO THE NEAREST CONSTRUCTION JOINT.
- CURBS AND GUTTERS AND WALKS SHALL BE REPAIRED TO THE NEAREST CONSTRUCTION JOINT.
- CONTRACTOR SHALL PROVIDE ABRASION SAW CUTS PRIOR TO DEMOLITION ADJACENT TO ALL PAVEMENT AREAS TO BE SAVED FAILURE TO PROVIDE A CLEAN EDGE MAY RESULT IN ADDITIONAL DEMOLITION AND NEW PAVEMENT INSTALLATION PAID FOR AND EXECUTED BY THE CONTRACTOR.
- CONTRACTOR IS RESPONSIBLE FOR DEMOLITION AND REMOVAL OR RELOCATION (AT HIS/HER EXPENSE) OF EXISTING ITEMS THAT CONFLICT WITH NEW CONSTRUCTION UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE DEMOLITION AND REMOVAL AND/OR RELOCATION OF ALL ITEMS WHERE NEW PAVING IS LOCATED.
- CONTRACTOR SHALL REPAIR TO EXISTING CONDITIONS ANY PAVING OR SITE FEATURE DEMOLISHED OR DAMAGED DURING INSTALLATION OF NEW RAN LEADERS, UTILITIES OR OTHER NEW SITE FEATURES.
- CONTRACTOR SHALL RELOCATE OR ADJUST AS NECESSARY ALL EXISTING UTILITY APPURTENANCES (CLEAN OUTS, VALVE/VEHICLE BOXES AND/OR COVERS, MANHOLES, ETC.) LOCATED WITHIN THE LIMITS OF CONSTRUCTION TO FINISHED GRADE AT NO ADDITIONAL COST TO THE OWNER.
- CONTRACTOR SHALL COORDINATE THE REMOVAL AND OR RELOCATION OF EXISTING GAS AND WATER METERS, VALVES, LINES, POWER, TELEPHONE AND CABLE LINES THAT SERVICE THE EXISTING BUILDINGS WITH THE APPROPRIATE UTILITY COMPANIES.
- CONTRACTOR IS RESPONSIBLE FOR REPAIRING IMMEDIATELY ANY DAMAGE TO AN ACTIVE UTILITY.
- REFER TO SITE UTILITY PLANS FOR RELOCATION, REMOVAL, ABANDONMENT, AND/OR MODIFICATION OF ALL EXISTING PLUMBING FEATURES ON SITE.

FLOODPLAIN MAP



FLOOD PLAIN STATEMENT:
"FIRM" FLOOD INSURANCE RATE MAP
MAP NUMBER 13247C0092D, DATED DECEMBER 8, 2016 SHOWS THAT NO PORTIONS OF THE PROJECT AREA LIES IN AN AREA HAVING SPECIAL FLOOD HAZARDS.

LOCATION MAP



THERE ARE NO STATE WATERS LOCATED ON OR WITHIN 200' OF THE PROJECT LIMITS.
THERE ARE NO WETLANDS LOCATED ON OR WITHIN 200' OF THE PROJECT LIMITS.

CIVIL SHEET INDEX

Sheet Number	Sheet Title
C000	CIVIL COVER SHEET
C200	LAYOUT & STAKING PLAN
C300	GRADING PLAN
C310	DRAINAGE PLAN
C500	UTILITY PLAN

EROSION CONTROL GENERAL NOTES

- NOTIFY CITY/COUNTY INSPECTORS 24 HOURS BEFORE BEGINNING OF EVERY CONSTRUCTION PHASE.
- ALL BUFFERS AND TREE SAVE AREAS SHALL BE CLEARLY IDENTIFIED BY FLAGGING AND/OR FENCING PRIOR TO COMMENCEMENT OF ANY LAND DISTURBANCE.
- THE INSTALLATION OF EROSION AND SEDIMENTATION CONTROL MEASURES AND PRACTICES SHALL OCCUR PRIOR TO OR CONCURRENT WITH LAND DISTURBING ACTIVITIES AND CONSTRUCTION ON THE SITE AND MAINTAINED UNTIL PERMANENT GROUND COVER IS ESTABLISHED.
- ALL SEDIMENT BARRIERS SHALL BE INSTALLED PRIOR TO ANY GRADING.
- SEDIMENT BARRIER DEVICES SHALL BE INSPECTED AND REPAIRED OF DAMAGE DAILY. ANY ACCUMULATED SEDIMENT SHALL BE REMOVED AND SPREAD ON SITE.
- ALL DISTURBED AREAS SHALL BE GRASSSED AS SOON AS CONSTRUCTION PHASE PERMITS.
- EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE MAINTAINED AT ALL TIMES. ADDITIONAL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSTALLED IF DETERMINED NECESSARY BY ON-SITE INSPECTION OR AS REQUIRED BY COUNTY.
- MAINTENANCE OF ALL SOIL EROSION AND SEDIMENTATION CONTROL MEASURES AND PRACTICES WHENEVER TEMPORARY OR PERMANENT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- ANY DISCREPANCY BETWEEN THIS SHEET AND OTHERS IN THIS SET SHALL BE REFERRED TO THE ARCHITECT BY THE CONTRACTOR FOR CLARIFICATION BEFORE PROCEEDING WITH THE WORKS.
- SEDIMENT STORAGE LEVEL MARKERS MUST BE INSTALLED IN SEDIMENT STORAGE STRUCTURES INDICATING THE 1/3 FULL VOLUME.
- MAXIMUM CUT OR FILL SLOPE IS (3:1) 2' HORIZONTAL TO 1' VERTICAL.
- CONTRACTOR SHALL PROVIDE TEMPORARY DRAIN DRAIN ON FILL SLOPES TO PREVENT EROSION PRIOR TO STABILIZATION.
- CONTRACTOR SHALL REMOVE ACCUMULATED SEDIMENT FROM DETENTION BASIN AT END OF CONSTRUCTION WHEN ALL DISTURBED AREAS HAVE BEEN FULLY STABILIZED.
- THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENTATION CONTROL MEASURES AND PRACTICES PRIOR TO LAND DISTURBING ACTIVITIES.
- EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL ADDITIONAL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.
- ANY DISTURBED AREA LEFT EXPOSED FOR A PERIOD GREATER THAN 14 DAYS SHALL BE STABILIZED WITH MULCH OR TEMPORARY SEEDING.

UTILITY LOCATION NOTES

- CONTRACTOR SHALL BE RESPONSIBLE TO SECURE THE SERVICES OF A PRIVATE UTILITY LOCATOR FIRST DURING THE ENTIRE COURSE OF CONSTRUCTION. CONTRACTOR SHALL PAY FOR SAID SERVICES.
- CONTRACTOR SHALL IMMEDIATELY REPAIR ALL UTILITIES DAMAGED BY CONSTRUCTION ACTIVITIES AT NO ADDITIONAL COST TO THE OWNER.
- THE UTILITIES SHOWN ARE SCHEMATIC AND FOR THE CONTRACTOR'S CONVICTION ONLY. THERE MAY BE OTHER UTILITIES NOT SHOWN ON THESE PLANS. THE DESIGN PROFESSIONAL ASSUMES NO RESPONSIBILITY FOR THE LOCATIONS SHOWN AND IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE LOCATIONS OF UTILITIES WITHIN THE LIMITS OF THE WORK. DAMAGE TO EXISTING UTILITIES BY THE CONTRACTOR FROM HIS/HER OPERATIONS SHALL BE IMMEDIATELY REPAIRED AT NO ADDITIONAL COST TO THE OWNER.
- CONTRACTOR SHALL BE RESPONSIBLE FOR CONTRACTION OF BACKFILL OF ALL UTILITY TRENCHES WITHIN SITE WORK LIMITS. THIS INCLUDES TRENCHES DUG AND BACKFILLED BY LOCAL UTILITIES, SUCH AS POWER, GAS, TELEPHONE, ETC. CONTRACTOR SHALL PROVIDE ADDITIONAL BACKFILL AND CONSTRUCTION AS NECESSARY IF SETTLEMENT OCCURS.

CALL BEFORE YOU DIG

DO NOT BREAK OR DUPLICATE

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SYMBOL KEY

87 GSUCC CHECKLIST ITEM NUMBER

ROCKDALE COUNTY JUDICIAL AND ADMINISTRATIVE COMPLEX
NEW COURTHOUSE AND ADMINISTRATION BUILDING - PHASE 1 SCHEMATIC DESIGN
922 COURT STREET
CONYERS, GEORGIA 30012

PRINT RECORD

No.	DATE	DESCRIPTION
	02/09/2024	SCHEMATIC DESIGN SUBMITTAL

Drawn By ECH **Checked By** GKC

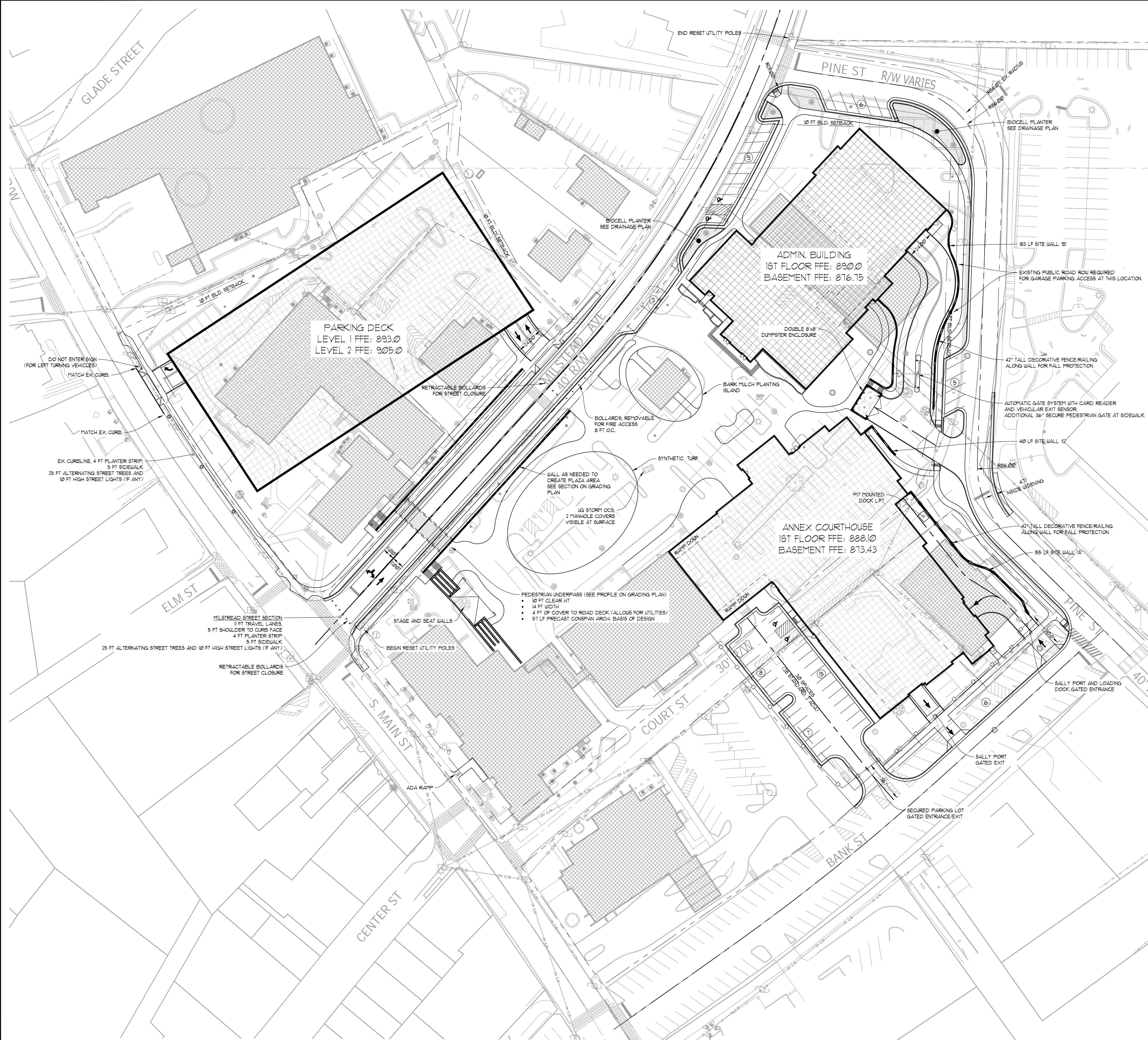
Date 02/09/2024 **Job No.** 23024 **BLP Job No.** 23164

Sheet Title
CIVIL COVER SHEET

Sheet No.

C000

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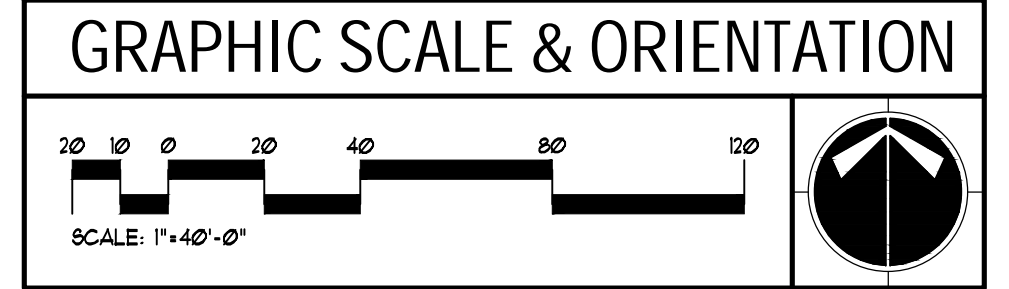


CONSTELLATION AMPHITHEATER



STAGE COVER
POLYGON: CST 30x20
<https://polygon.com>

- #### GENERAL LAYOUT NOTES
- PROPOSED BUILDING USE: COURTHOUSE AND ADMINISTRATION
 - CONTRACTOR SHALL VERIFY CONDITIONS AND DIMENSIONS BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES FOUND SHALL BE REPORTED TO THE ARCHITECT FOR CLARIFICATION AND/OR CORRECTION BEFORE PROCEEDING WITH THE WORK. CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR DISCREPANCIES WHICH ARE NOT REPORTED.
 - CONTRACTOR SHALL STAKE ALL BUILDING CORNERS AND OBTAIN ARCHITECT'S APPROVAL BEFORE POURING ANY FOOTINGS.
 - REFER TO ARCHITECTURAL PLANS FOR ACTUAL BUILDING DIMENSIONS.
 - ALL DIMENSIONS ARE TO THE FACE OF CURBS AND FACE OF WALLS.
 - ALL ANGLES ARE 90° UNLESS OTHERWISE NOTED.
 - CURB AND GUTTER RADII ARE (5') UNLESS OTHERWISE NOTED.



- #### UTILITY LOCATION NOTES
- CONTRACTOR SHALL BE RESPONSIBLE TO SECURE THE SERVICES OF A PRIVATE UTILITY LOCATOR FIRM DURING THE ENTIRE COURSE OF CONSTRUCTION. CONTRACTOR SHALL PAY FOR SAID SERVICES.
 - CONTRACTOR SHALL IMMEDIATELY REPAIR ALL UTILITIES DAMAGED BY CONSTRUCTION ACTIVITIES AT NO ADDITIONAL COST TO THE OWNER.
 - THE UTILITIES SHOWN ARE SCHEMATIC AND FOR THE CONTRACTOR'S CONVENIENCE ONLY. THERE MAY BE OTHER UTILITIES NOT SHOWN ON THESE PLANS. THE DESIGN PROFESSIONAL ASSUMES NO RESPONSIBILITY FOR THE LOCATIONS SHOWN AND IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE LOCATIONS OF UTILITIES WITHIN THE LIMITS OF THE WORK.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR COMPACTION OF BACKFILL OF ALL UTILITY TRENCHES WITHIN SITE WORK LIMITS. THIS INCLUDES TRENCHES DUG AND BACKFILLED BY LOCAL UTILITIES SUCH AS POWER, GAS, TELEPHONE, ETC. CONTRACTOR SHALL PROVIDE ADDITIONAL BACKFILL AND COMPACTION AS NECESSARY. IF SETTLEMENT OCCURS.

CALL BEFORE YOU DIG

GEORGIA LAW MANDATES THAT, BEFORE BEGINNING ANY MECHANIZED DIGGING OR EXCAVATION WORK, YOU MUST CONTACT GEORGIA 811 BY USING REQUEST ON WJ811.GEORGIA811.COM OR BY CALLING 811 OR 1-800-285-1411 AT LEAST 48 HOURS BUT NO MORE THAN 10 WORKING DAYS IN ADVANCE TO HAVE UTILITY LINES MARKED.

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JERICO
design group
208 Pirkle Ferry Road, Suite C
Cumming, GA 30040

NEXT LEVEL
ENGINEERING AND CONSTRUCTION SERVICES

BREED LOVE
LAND PLANNING
LANDSCAPE ARCHITECTURE • CIVIL ENGINEERING

SHEAR

ROCKDALE COUNTY JUDICIAL AND ADMINISTRATIVE COMPLEX

NEW COURTHOUSE AND ADMINISTRATION BUILDING - PHASE 1 SCHEMATIC DESIGN

922 COURT STREET
CONYERS, GEORGIA 30012

PRINT RECORD

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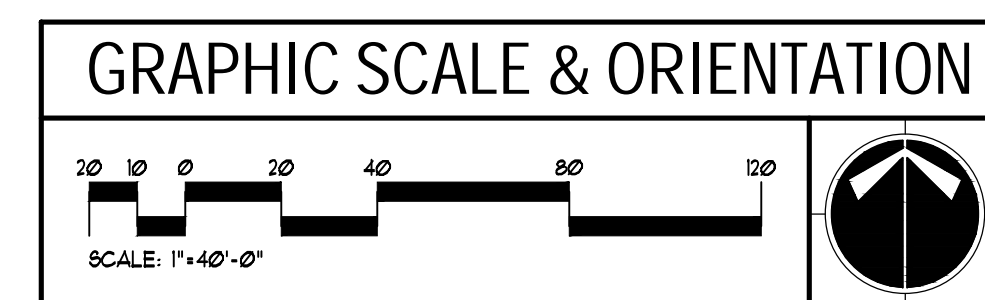
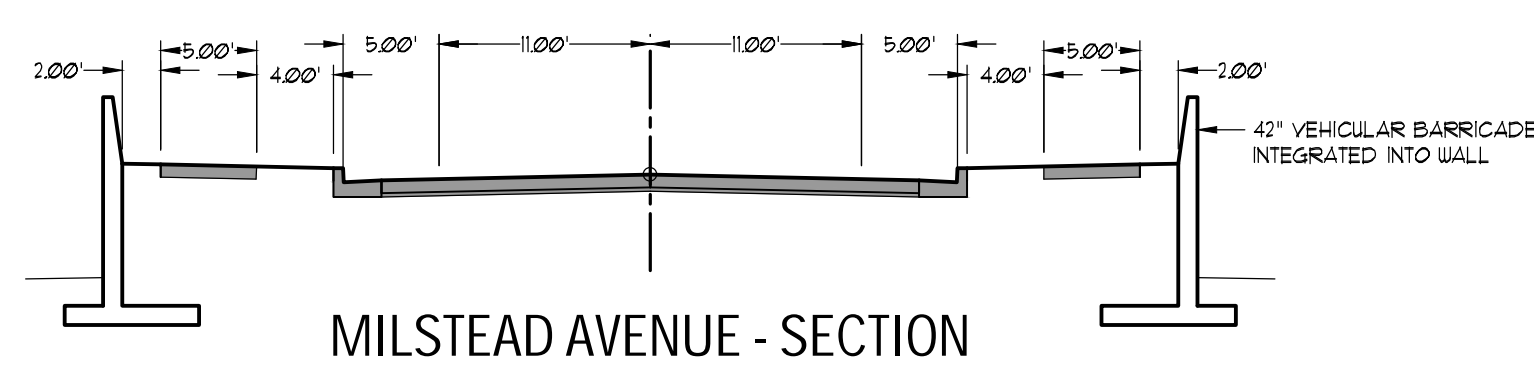
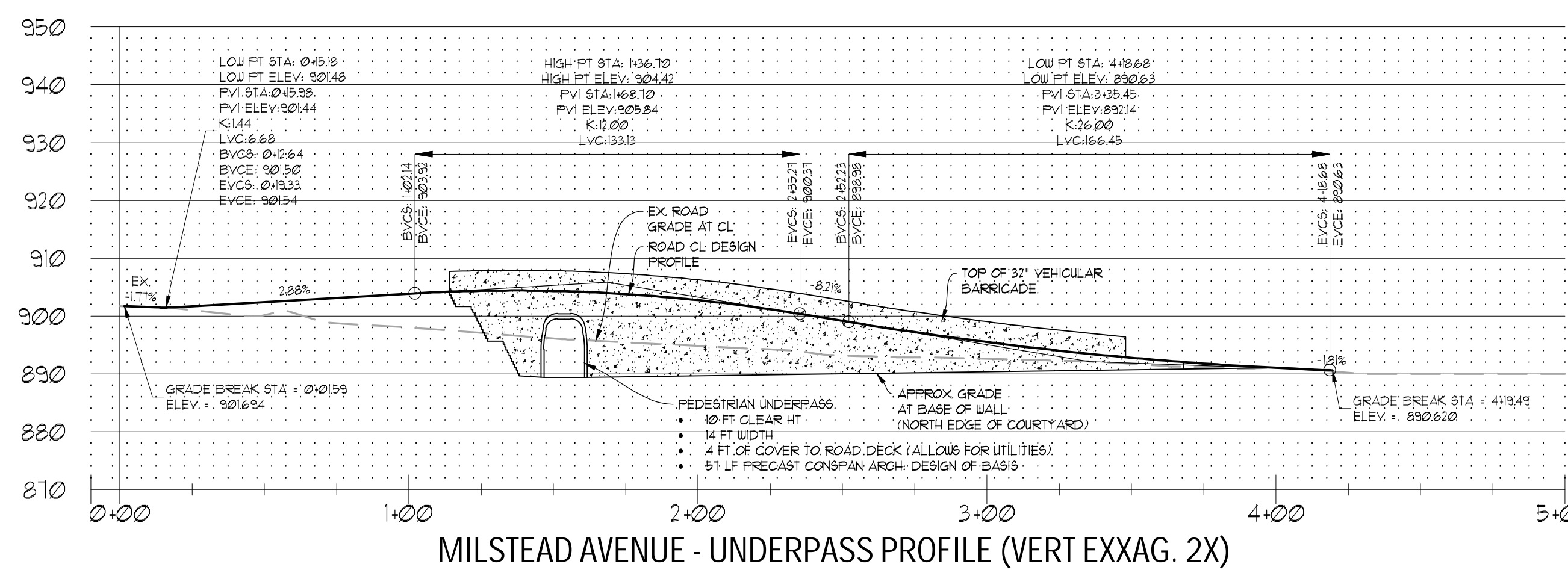
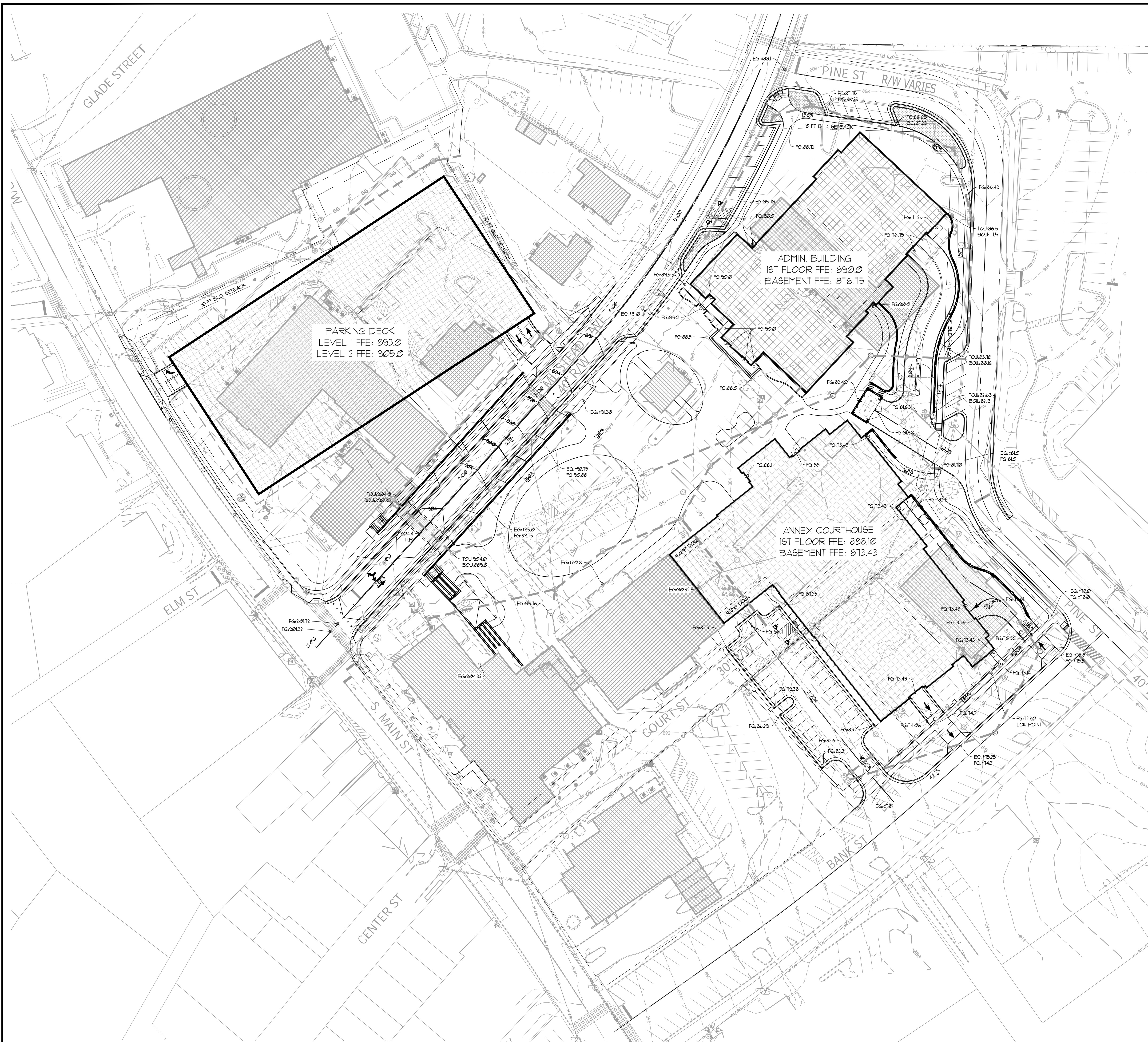
Date: 02/09/2024
Job No.: 23024
BLP Job No.: 23164

Sheet Title:
LAYOUT & STAKING PLAN

Sheet No.:
C200

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EXCESS CUT

EXCESS CUT MATERIAL: IF QUANTITY OF GRADING MATERIAL IS IN EXCESS OF QUANTITIES NECESSARY TO PROVIDE FINISH GRADE ELEVATIONS INDICATED ON DRAWINGS EXCESS MATERIAL SHALL BE HAULED OFF SITE AND DISPOSED OF AT AN APPROVED LOCATION. EXCESS MATERIAL SHALL BE PERFORMED AT NO ADDITIONAL COST TO THE OWNER. CONTRACTOR IS RESPONSIBLE FOR ABIDING BY ALL LOCAL, STATE, AND FEDERAL REGULATIONS IN DISPOSING OF EXCESS MATERIAL.

INSUFFICIENT FILL

INSUFFICIENT FILL MATERIAL: IF QUANTITY OF GRADING MATERIAL IS INSUFFICIENT TO PROVIDE FINISH GRADE ELEVATIONS INDICATED ON DRAWINGS CONTRACTOR SHALL OBTAIN ADDITIONAL FILL MATERIAL OF SPECIFIED QUALITY FROM AN OFF-SITE SOURCE. OBTAINING, HAULING, PLACEMENT, COMPACTION AND STABILIZATION OF ADDITIONAL FILL MATERIAL SHALL BE PERFORMED AT NO ADDITIONAL COST TO THE OWNER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ABIDING BY ALL LOCAL, STATE, AND FEDERAL REGULATIONS IN OBTAINING FILL MATERIAL.

UNIFORM GRADING

PROVIDE UNIFORM GRADE TRANSITIONS BETWEEN CONTOURS AND / OR SPOT ELEVATIONS WHEN NO OTHER INFORMATION IS PROVIDED.

STORY STRUCTURES OUTSIDE LIMITS OF RAISING AREAS SHALL BE BUILT PER SITE WORK CONSTRUCTION DETAILS PROVIDING PROPER TRANSITIONS FROM PRE-CAST TOPS TO PROPOSED GRADE WITH MINIMUM 18" FROM STRUCTURE TOPS TO TOP OF PRECAST MANHOLE (ROUND-TO-SQUARE ADAPTER).

GENERAL CONTRACTOR SHALL ENSURE PROPER COORDINATION BETWEEN SUB-CONTRACTORS WHEN TRANSITIONING FROM MASS GRADING AND STORY INSTALLATION TO FINE GRADING AND LANDSCAPING.

CONTRACTOR SHALL SCHEDULE AN ON-SITE MEETING WITH SITE DESIGN PROFESSIONAL TO REVIEW AND APPROVE STRUCTURE TOP ELEVATIONS AND FINE GRADING PRIOR TO FINAL STABILIZATION. ALL AREAS NOT REVIEWED AND APPROVED ARE SUBJECT TO RE-GRADING AND RE-STABILIZATION AT THE EXPENSE OF THE CONTRACTOR IF NOT APPROVED.

GRADING NOTES

- PROVIDE POSITIVE DRAINAGE AWAY FROM ALL EXISTING AND PROPOSED BUILDINGS DURING CONSTRUCTION. NO EXISTING OR PROPOSED STORY STRUCTURES SHALL BE REMOVED, BLINDED OR COMPROMISED AT ANY TIME DURING THE CONSTRUCTION PERIOD WITHOUT PROVIDING ADEQUATE TEMPORARY CONVEYANCE TO THE EXISTING DETENTION POND. AT NO TIME SHALL THE FLOW FROM EXISTING AND/OR PROPOSED STORM SYSTEMS BE INTERRUPTED AND LEFT UNATTENDED BY THE CONTRACTOR.
- CONTRACTOR IS RESPONSIBLE FOR COMPACTION OF BACKFILL OF ALL UTILITY TRENCHES WITHIN SITE WORK LIMITS. THIS INCLUDES TRENCHES DUG AND BACKFILLED BY LOCAL UTILITIES SUCH AS POWER, GAS, TELEPHONE, ETC. CONTRACTOR SHALL PROVIDE ADDITIONAL BACKFILL AND COMPACTION AS NECESSARY IF SETTLEMENT OCCURS.

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208 Pirkle Ferry Road, Suite C
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ROCKDALE COUNTY JUDICIAL AND ADMINISTRATIVE COMPLEX
NEW COURTHOUSE AND ADMINISTRATION BUILDING - PHASE 1
SCHEMATIC DESIGN
922 COURT STREET
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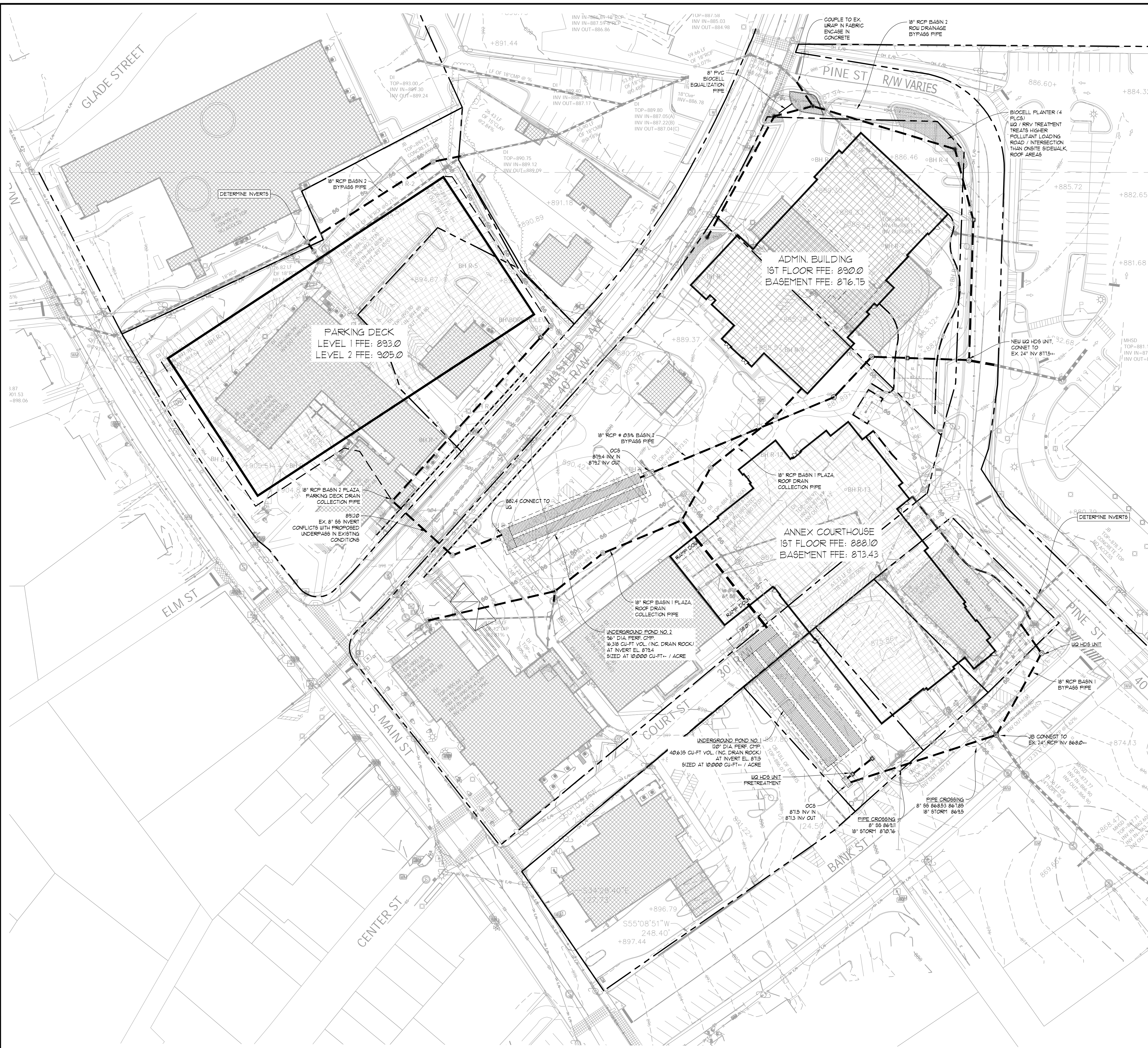
Date: 02/09/2024
Job No.: 23024
BLP Job No.: 23164

Sheet Title: **GRADING PLAN**

Sheet No.:

C300

NOT RELEASED FOR CONSTRUCTION



AREA DRAIN NOTES

- STRUCTURES LABELED AS "AD", "X", "CB", ARE EXPOSED DUCTILE IRON GRATES SUITABLE FOR PEDESTRIAN AREAS AND MIN. 400 LB. WHEEL LOADS.
- STRUCTURES LABELED AS "AD", "X", "BH", ARE 8" DUCTILE IRON DOME (BEEHIVE) GRATES FOR USE IN LANDSCAPE AREAS.
- BASIS OF DESIGN - NYLOPLAST 18" DRAINAGE BASIN OR 1 1/2" IN. DRAIN (REFER TO PLAN VIEW FOR PIPE CONFIGURATION) OR APPROVED EQUAL.

STORM LATERAL NOTES

- MINIMUM SIZE OF ALL LATERALS IS 6" (PVC) AT MIN. 1% SLOPE UNLESS OTHERWISE NOTED. PROVIDE TRANSITIONAL FITTINGS WITHIN FIVE FEET OF BUILDING FOUNDATIONS.
- THIS APPLIES TO ALL STORM LINES (REGARDLESS OF MATERIAL) FROM DOWNSPUTS, MAIN LEADERS, ROOF DRAINS, FOOTING UNDERDRAINS, ETC.
- REFER TO ARCHITECTURAL PLANS FOR DOWNSPUT BOOT AND/OR TRANSITIONAL CONNECTION DETAIL.
- PROVIDE BRASS COUNTERSINK CLEANOUTS WITH CONCRETE MAINTENANCE EDGE AT ALL TURNS AND DROPS IN LATERALS AND EVERY NINETY (90) LINEAR FEET ALONG THE LATERAL.

AS-BUILT REQUIREMENTS

- CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE AND PAY FOR ALL AS-BUILT INFORMATION AS REQUIRED BY LOCAL ISSUING AUTHORITY. CONTRACTOR SHALL VERIFY AND INCLUDE PRICING FOR REQUIRED AS-BUILT INFORMATION DURING BIDDING PROCESS. AS-BUILT INFORMATION MAY INCLUDE, BUT NOT BE LIMITED TO, SANITARY SEWER, DUCTILE IRON DOME, FIRE LINES, FORCE MAINS, OVERHEAD AND UNDERGROUND POWER LINES, GAS, CABLE, STORM AND ALL DETENTION WATER QUALITY FACILITIES. REQUIRED AS-BUILT INFORMATION SHALL BE PROVIDED AT LEAST THREE WEEKS PRIOR TO APPLICATION FOR FINAL CERTIFICATE OF OCCUPANCY.
- ALL CONTOURS AND ELEVATIONS (ABOVE GROUND DETENTION FACILITY).
 - DIAMETER, LENGTH, TYPE OF MATERIAL, ALL INVERTS OF HEADERS, BARRELS, OUTLET CONTROL STRUCTURES AND OUTLET PIPES (UNDERGROUND DETENTION FACILITY).
 - BOTTOM OF BASIN ELEVATION IN FRONT OF OUTLET DEVICE AND OPPOSITE END OF BASIN TO VERIFY POSITIVE DRAINAGE.
 - TOP OF WALL OR DAM ELEVATION TO VERIFY FREEBOARD.
 - WIDTH OF DAM (IF APPLICABLE) AT TOP OF DAM.
 - MAXIMUM PONDING ELEVATION AND LIMITS OF PONDING.
 - LOCATION OF POND IN RESPECT TO PROPERTY LINES, ROAD RIGHT-OF-WAYS AND OTHER FEATURES.
 - REGISTERED SURVEYOR'S SEAL.
 - DATE OF AS-BUILT SURVEY.
 - DETAIL OF OUTLET DEVICE SHOWING ALL ELEVATIONS AND DIMENSIONS.
- AS-BUILT HYDROLOGIC STUDY SHALL CONTAIN THE FOLLOWING:
- APPROPRIATE GEORGIA REGISTERED PROFESSIONAL SEAL.
 - DATE OF STUDY.
 - ALLOWABLE RELEASE RATES AS INDICATED IN THE ORIGINAL DESIGN FOR ALL STORMS.
 - DESIGN VOLUMES AS INDICATED IN THE ORIGINAL DESIGN FOR ALL STORMS.
 - CALCULATIONS SHOWING THE ACTUAL 2, 10, 25, AND 100 YEAR RELEASE RATES, PONDING ELEVATIONS AND VOLUMES.
 - DETAIL OF OUTLET DEVICE SHOWING ALL ELEVATIONS AND DIMENSIONS.
 - DRAINAGE MAP.

UNDERGROUND DETENTION SYSTEM

- CONTRACTOR SHALL NOT ROUTE STORM DRAINAGE INTO UNDERGROUND SYSTEMS (WITH INFILTRATION) TRENCH AT INVERT UNTIL ALL UPSTREAM AREAS ARE STABILIZED.
- CONTRACTOR SHALL PROVIDE DETENTION POND POST-CONSTRUCTION (RECORD) DRAWINGS (AS-BUILT) WITH THE SUBMITTAL OF THE FINAL PLAN OR TWO WEEKS PRIOR TO REQUESTING A CERTIFICATE OF OCCUPANCY. THE POST-CONSTRUCTION CONDITIONS MAY BE VERIFIED AND APPROVED. CERTIFIED RECORD DRAWINGS SHALL INCLUDE UNDERGROUND DETENTION INFORMATION AND OUTLET CONTROL STRUCTURE DETAIL USING POST-CONSTRUCTION SURVEY DATA. USING RECORD DRAWINGS PROVIDE A CERTIFIED HYDROLOGIC RECORD INDICATING POND VOLUMES AND PEAK OUTFLOWS FROM REGULATED STORM EVENTS.
- AS-BUILT SURVEY SHALL CONTAIN THE FOLLOWING:
- SPOT ELEVATIONS AT PIPE SLOPE AND PIPE SIZES FROM EACH BARREL AND HEADER.
 - PROVIDE GENERAL HORIZONTAL LAYOUT OF STORAGE PIPES AND OUTLET CONTROL STRUCTURES (INCLUDING LOCATION OF INLET AND OUTLET PIPE).
 - LOCATION OF POND IN RESPECT TO PROPERTY LINES, ROAD RIGHT-OF-WAYS AND OTHER FEATURES.
 - REGISTERED SURVEYOR'S SEAL.
 - DATE OF AS-BUILT SURVEY.
 - DETAIL OF OUTLET CONTROL STRUCTURE DEPICTING SIZE AND ELEVATION OF:
 - EMERGENCY OVERFLOW ELEVATION
 - INLET AND OUTLET PIPES
 - TRASH RACK, 8" X 1/2" METAL BAR SCREENS, WATER QUALITY MEASURES, ETC.
 - TOP ELEVATION OF BOX AND INVERTS
- AS-BUILT HYDROLOGIC STUDY SHALL CONTAIN THE FOLLOWING:
- APPROPRIATE GEORGIA REGISTERED PROFESSIONAL SEAL.
 - DATE OF STUDY.
 - ALLOWABLE RELEASE RATES AS INDICATED IN THE ORIGINAL DESIGN FOR ALL STORMS.
 - DESIGN VOLUMES AS INDICATED IN THE ORIGINAL DESIGN FOR ALL STORMS.
 - CALCULATIONS SHOWING THE ACTUAL 2, 10, 25, AND 100 YEAR RELEASE RATES, PONDING ELEVATIONS AND VOLUMES.
 - DRAINAGE MAP.
 - DETAIL OF OUTLET DEVICE SHOWING ALL ELEVATIONS AND DIMENSIONS.
 - MAXIMUM PONDING ELEVATION AND LIMITS OF PONDING.
- IF THE AS-BUILT HYDROLOGIC STUDY SHOWS THAT THE DETENTION SYSTEM WAS NOT CONSTRUCTED IN ACCORDANCE WITH THE DESIGN, THE CONTRACTOR SHALL BE REQUIRED TO MAKE ANY AND ALL NECESSARY MODIFICATIONS. UPON MAKING ANY ADJUSTMENTS, THE CONTRACTOR SHALL PREPARE A NEW AS-BUILT SURVEY AND AS-BUILT HYDROLOGIC STUDY TO VERIFY IF CHANGES MADE SATISFY THE UNDERGROUND DETENTION POND DESIGN REQUIREMENTS. AS-BUILT SURVEY, HYDROLOGIC STUDY, AND MODIFICATIONS (IF APPLICABLE) SHALL BE PAID FOR BY THE CONTRACTOR AT NO ADDITIONAL EXPENSE TO THE OWNER.
- MONTHLY MAINTENANCE - THE CONTRACTOR SHALL PROVIDE A MAINTENANCE CLEANING OF THE UNDERGROUND PONDING 12 MONTHS AFTER BEING PLACED INTO SERVICE. CLEANING SHALL INCLUDE REMOVAL OF ALL TRASH, DEBRIS, AND SEDIMENT ACCUMULATION THAT EXCEEDS 1" IN DEPTH.

UTILITY LOCATION NOTES

- CONTRACTOR SHALL BE RESPONSIBLE TO SECURE THE SERVICES OF A PRIVATE UTILITY LOCATOR FIRM DURING THE ENTIRE COURSE OF CONSTRUCTION. CONTRACTOR SHALL PAY FOR SAID SERVICES.
- CONTRACTOR SHALL IMMEDIATELY REPAIR ALL UTILITIES DAMAGED BY CONSTRUCTION ACTIVITIES AT NO ADDITIONAL COST TO THE OWNER.
- THE UTILITIES SHOWN ARE SCHEMATIC AND FOR THE CONTRACTOR'S CONVENIENCE ONLY. THERE MAY BE OTHER UTILITIES NOT SHOWN ON THESE PLANS. THE DESIGN PROFESSIONAL ASSUMES NO RESPONSIBILITY FOR THE LOCATIONS SHOWN AND IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE LOCATIONS OF UTILITIES WITHIN THE LIMITS OF THE WORK.
- CONTRACTOR SHALL BE RESPONSIBLE FOR COMPACTION OF BACKFILL OF ALL UTILITY TRENCHES WITHIN SITE WORK LIMITS. THIS INCLUDES TRENCHES DUG AND BACKFILLED BY LOCAL UTILITIES SUCH AS POWER, GAS, TELEPHONE, ETC. CONTRACTOR SHALL PROVIDE ADDITIONAL BACKFILL AND COMPACTION AS NECESSARY, IF SETTLEMENT OCCURS.

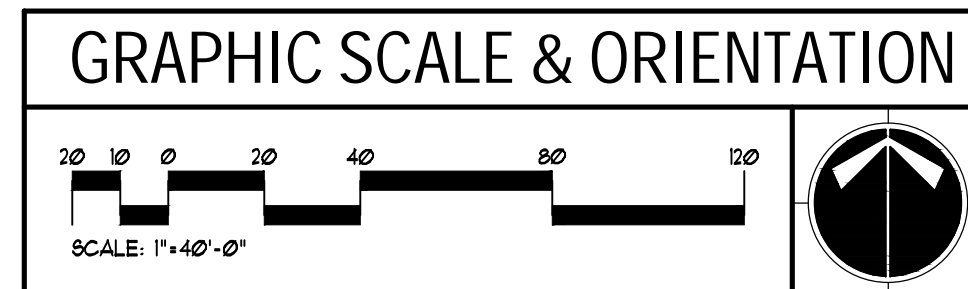
CALL BEFORE YOU DIG



GEORGIA LAW MANDATES THAT BEFORE BEGINNING ANY MECHANIZED DIGGING OR EXCAVATION WORK YOU MUST CONTACT GEORGIA 811 BY USING REQUEST ON WJUGORGIABICOMPTV OR BY CALLING 811 OR 1-800-285-1411 AT LEAST 48 HOURS BUT NO MORE THAN 10 WORKING DAYS IN ADVANCE TO HAVE UTILITIES MARKED.

DO NOT BREAK OR DUPLICATE

- DO NOT DUPLICATE DRAWINGS WITHOUT PERMISSION.
- READ THE SPECIFICATIONS. THIS SET OF DRAWINGS AND SPECIFICATIONS DEFINE PROJECT SCOPE AND CONTRACT REQUIREMENTS. INDIVIDUAL SHEETS SEPARATED FROM THE SET MAY NOT ACCURATELY REFLECT ALL INFORMATION NEEDED TO SUITABLY COVER CERTAIN ITEMS. DO NOT SEPARATE THIS SET OF DRAWINGS FROM INDIVIDUAL SHEETS.



208 Pirkle Ferry Road, Suite C
Cumming, GA 30040



Next Level Engineering and Construction Services

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Urban Planning & Site Development

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ROCKDALE COUNTY JUDICIAL AND ADMINISTRATIVE COMPLEX
NEW COURTHOUSE AND ADMINISTRATION BUILDING - PHASE 1
SCHEMATIC DESIGN
922 COURT STREET
CONYERS, GEORGIA 30012

PRINT RECORD

No.	DATE	DESCRIPTION
	02/09/2024	SCHEMATIC DESIGN SUBMITTAL

Drawn By ECH
Checked By GKC

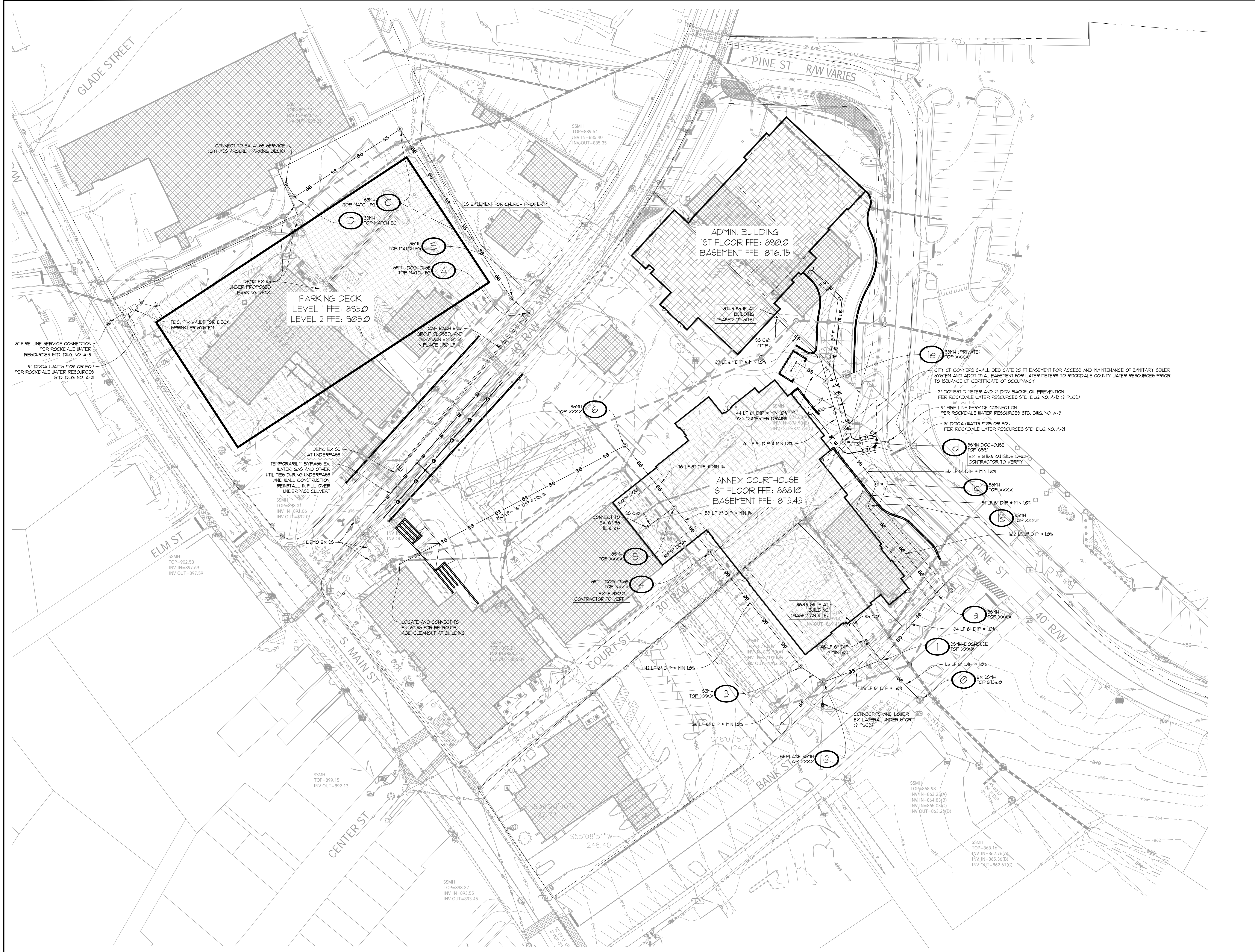
Date 02/09/2024 Job No. 23024 BLP Job No. 23164

Sheet Title
DRAINAGE PLAN

Sheet No.

C310

NOT RELEASED FOR CONSTRUCTION



ROCKDALE WATE RESOURCES:

- DESIGN AND CONSTRUCTION OF ALL WATER AND SANITARY SEWER UTILITIES SHALL CONFORM TO ROCKDALE WATER RESOURCES WATER AND WASTEWATER STANDARDS AND SPECIFICATIONS, LATEST EDITION.
- CONTRACTOR SHALL NOTIFY RIJE ENGINEERING DEPARTMENT AT LEAST 72 HOURS PRIOR TO BEGINNING OF CONSTRUCTION ON WATER AND SEWER AND INSPECTOR WILL BE ASSIGNED AND A PRE-CONSTRUCTION MEETING SCHEDULED AT THIS TIME.
- "AS-BUILT" DRAWINGS SHALL BE FIELD VERIFIED AND STAMPED BY A REGISTERED PROFESSIONAL ENGINEER OR LAND SURVEYOR, LICENSED IN THE STATE OF GEORGIA.
- THE CONTRACTOR SHALL COMPLY WITH ALL UTILITIES PROTECTION CENTER REQUIREMENTS.



ROCKDALE COUNTY JUDICIAL AND ADMINISTRATIVE COMPLEX
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Sheet Title: **UTILITY PLAN**

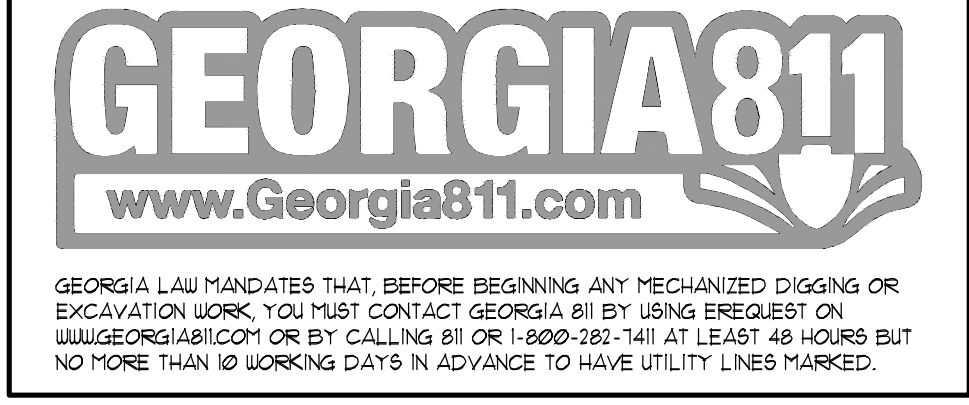
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