

BOARD OF COMMISSIONERS

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DEPARTMENT OF PLANNING & DEVELOPMENT

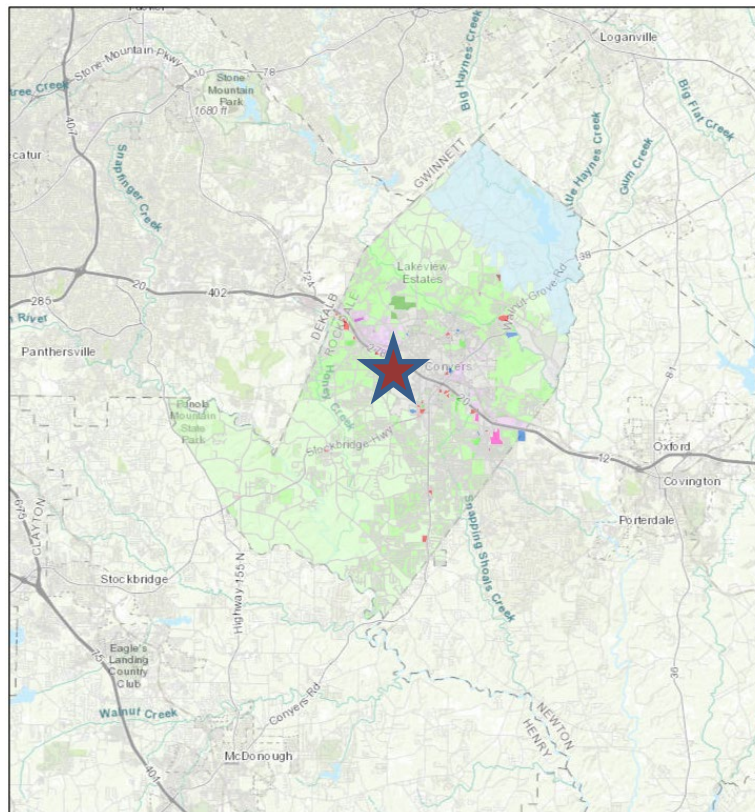
JULIANA NJOKU, DIRECTOR
PHONE: (770) 278-7100
planningandzoning@rockdalecountyga.gov

**PLANNING COMMISSION
ROCKDALE COUNTY PLANNING STAFF REPORT**

Case Number: REZ2024-03
Address: 1079 SW Johnson Road
Tax Parcel: 044001044D
Site Area: 4.99 acres
Current Zoning: C-2 (General Commercial District)
Existing Conditions: Undeveloped
Request: To rezone 4.99 acres from C-2 to RM (Residential Multifamily) for the development of 41 townhome units.
Applicant: Dean Conn / Crawford Creek Communities
Owner: Crawford Creek Development, LLC

Staff Recommendation: **Approval with Conditions**

PC Hearing Date: April 11, 2024
BOC Hearing Date: May 23, 2024



Zoning History

The subject property is located at 1079 SW Johnson Road and is zoned C-2 (General Commercial District). No prior zoning requests are on record for this property.

Existing Site Conditions

The subject site is a 4.99-acre undeveloped property along Johnson Road SW. A sidewalk is not present along the property’s road frontage. Almand Creek and associated future floodplain are located along the property’s western boundary. The topography of the site slopes generally down from east to west. The parcel is wooded. There are no known structures on the property.

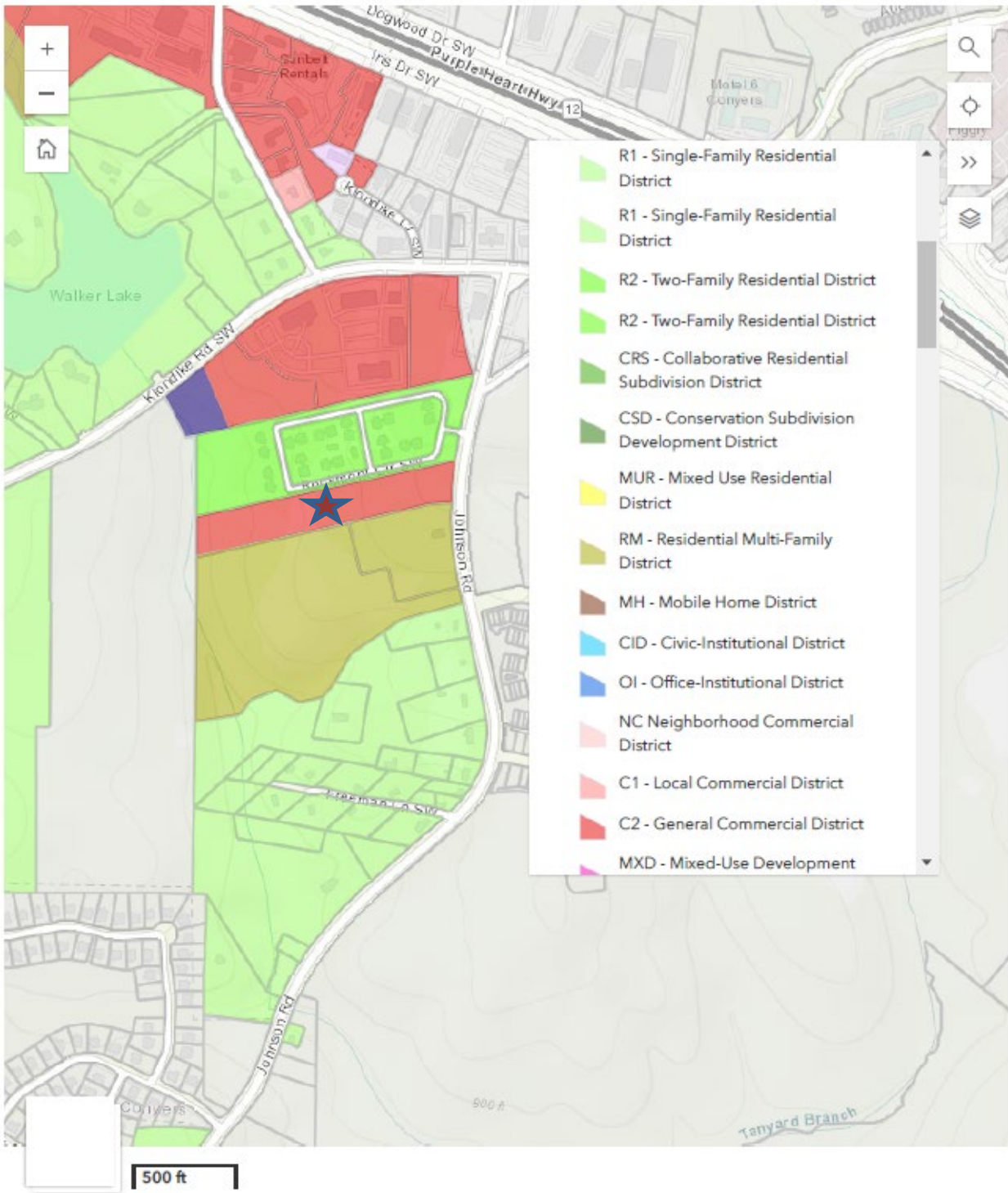
Surrounding Use and Zoning

The subject site is adjacent to properties zoned for residential and commercial use. The following is a summary of surrounding uses and zoning:

Adjacent Zoning and Current Land Use			
Direction	Address	Zoning District	Current Land Use
West	1600 SW Klondike Road	O-I/C (City of Conyers)	Wooded/Undeveloped
North	1200 SW Rockmont Cir	R-3	Apartments
East	SW Johnson Road	MxD/BG (City of Conyers)	Wooded/Undeveloped
South	1111 SW Johnson Road SW Johnson Road	RM	In Land Development Process for Townhome Community

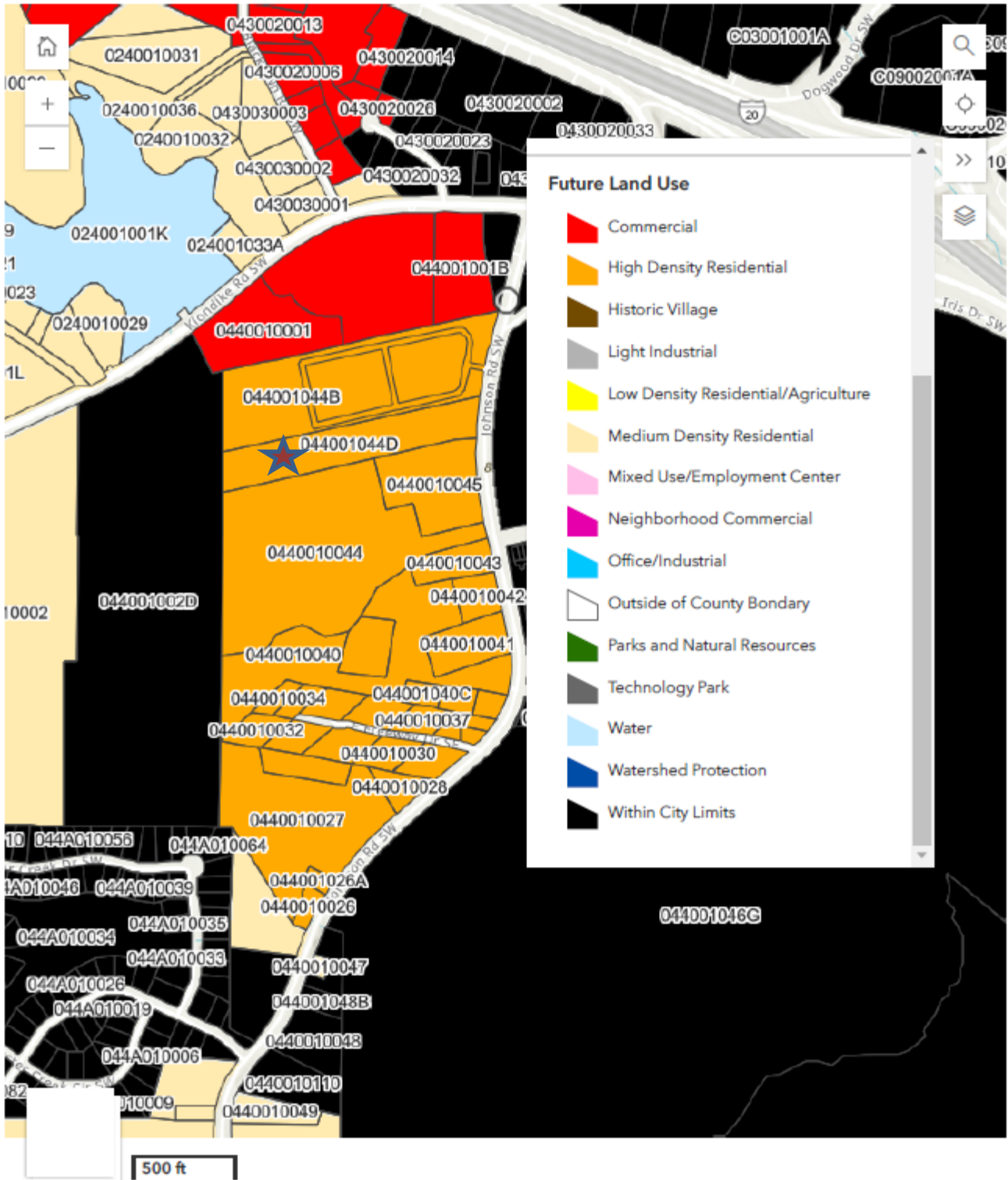


Rockdale County Zoning





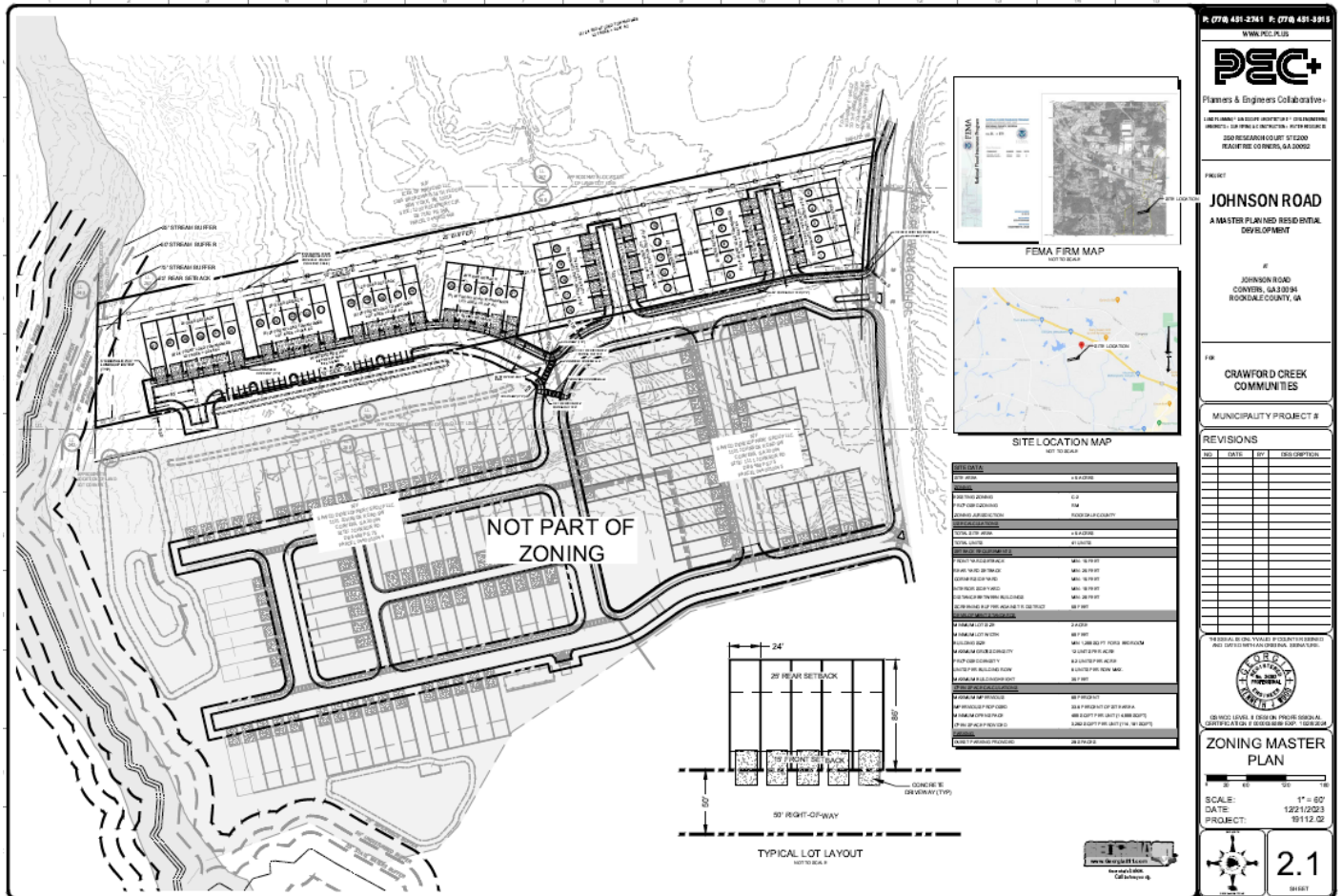
Rockdale County Future Land Use



Project Summary

The applicant is requesting a rezoning of a 4.99-acre site from C-2 (General Commercial) to RM (Multifamily Residential). The project includes:

- The development of townhomes with 41 units and a proposed density of 8.2 units per acre. The RM zoning district allows for 12 units per acre.
- Proposed setbacks meeting the standards for the RM zoning district:
 - 15-foot front setback along Johnson Road SW.
 - 10-foot interior side setback adjacent to the apartments to the north of the subject site.
 - 10-foot interior side setback adjacent to the future townhouse development to the south of the subject site.
 - 25-foot rear setback adjacent to the undeveloped property to the west of the subject site.
- Proposed building lengths of no more than 6 dwelling units, meeting code requirement.
- 29 proposed guest parking spaces are provided, exceeding the minimum guest parking requirements for a townhome community.
- Proposed 5-foot-wide concrete sidewalk on one side of the street, meeting code requirement.
- Proposed 25-foot-wide transitional buffer. A 50-foot-wide transitional buffer is required for a proposed RM development adjacent to an R district. The applicant will need to request an administrative variance.



Zoning and Development Standards

The following is a summary of applicable development standards from the Rockdale Unified Development Ordinance (UDO):

Zoning and Development Standards			
Standard	Required	Proposed	Meets Standard?
Minimum Lot Size	2 acres	4.99 acres	YES
Minimum Lot Width	60 Feet	>60 Feet	YES
Units/Acre	Max. 12	8.2	YES
Building Length	Max. 6	6	YES
Guest Parking	Min. 14	29	YES
Impervious Surface	Max. 60%	33.6%	YES
Open Space	Min. 400 SF/Unit	3,262 SF/Unit	YES
Front Setback	15 Feet	15 Feet	YES
Interior Side Setback	10 Feet	10 Feet	
Rear Setback	25 Feet	25 Feet	
Front Landscape Strip	20 Feet	Not Indicated on Site Plan*	NO
Side Landscape Strip	10 Feet		
Rear Landscape Strip	10 Feet		
Transitional Buffer (Adjacent to R District)	50 Feet	25 Feet*	NO

*Applicant will be required to show landscape strips on site plan submittal for Land Disturbance Permit (LDP).

**Applicant has submitted an Administrative Variance Application to the Department of Planning and Development to reduce the buffer by 50 percent.

Internal and External Agency Review

In addition to the above referenced development standards, the applicant must meet all other UDO requirements related to infrastructure improvements. Internal and External agency comments are attached and provided below.

Rockdale County Fire Department

1. Add additional fire hydrants that are not more than 500 feet apart unless the townhomes have fire sprinklers, which allows a maximum 600 feet.
2. Current street width would not allow for on street parking and “No Parking Fire Lane” signs would need to be posted every 100 feet.
3. All other comments will be addressed during the plan review process.

Rockdale Department of Transportation

Please specify if the development is proposed as a private development, or public.

If the roads are proposed to be public, the following design criteria need to be changed: all roads need to end in a cul-de-sac, and all parking must be off-street and separated by a strip of land at least ten feet wide (sec. 222-7(a)(1)c).

Additional comments and requirements may be necessary based on proposed plan set.

Rockdale Board of Education

Sims ES Projected SY24 enrollment = 760 Current enrollment = 464 Capacity = 760

Edwards MS Projected SY24 enrollment = 910 Current enrollment = 911 Capacity = 1242

Rockdale County HS Projected SY24 enrollment = 1489 Current enrollment = 1380 Capacity = 1500

Rockdale County Stormwater Department

Based on the submitted rezoning documents, there are existing State waters, Future Flood, Wetlands and Tree Protection that must be protected with no adverse impact as it relates to the Stormwater Management Department.

ARTICLE IV – STREAM BUFFER PROTECTION Sec. 310 – 103 Land development stream buffer requirements.

(a) All land development activity, including subdivisions of land and platting activities governed by chapter 302 of the UDO, shall meet the following buffer and setback requirements unless otherwise exempted in this article:

- (1) An undisturbed natural vegetative buffer shall be maintained for 50 feet, measured horizontally, on both banks (as applicable) of the stream as measured from the top of the stream bank.
- (2) An additional setback shall be maintained for 25 feet, measured horizontally, beyond the undisturbed natural vegetative buffer, in which all impervious cover shall be prohibited. Grading, filling, and earthmoving shall be minimized within the setback.
- (3) No septic tanks or septic tank drain fields shall be permitted within the buffer or the setback.

(b) Any land development activity within a buffer established hereunder or any impervious cover within a setback established hereunder is prohibited unless a variance is granted pursuant to section 310-105.

CHAPTER 320 – FLOOD DAMAGE PREVENTION

Sec. 320-1. - Introduction.

(a) It is hereby determined that:

- (1) The flood hazard areas of Rockdale County, GA are subject to periodic inundation which may result in loss of life and property, health and safety hazards, disruption of commerce and governmental services, extraordinary public expenditures for flood relief and protection, and impairment of the tax base, all of which adversely affect the public health, safety, and general welfare.
- (2) Flood hazard areas can serve important stormwater management, water quality, streambank protection, stream corridor protection, wetland preservation and ecological purposes when permanently protected as undisturbed or minimally disturbed areas.
- (3) Effective floodplain management and flood hazard protection activities can:
 - a. Protect human life and health,
 - b. Minimize damage to private property,
 - c. Minimize damage to public facilities and infrastructure such as water and gas mains, electric, telephone and sewer lines, streets and bridges located in floodplains, and

d. Minimize expenditure of public money for costly flood control projects associated with flooding and generally undertaken at the expense of the general public.

(b) Article IX, Section II of the Constitution of the State of Georgia, and Section 36-1-20(a) of the Official Code of Georgia Annotated have delegated the responsibility to local governmental units to adopt regulations designed to promote the public health, safety, and general welfare of its citizenry. Therefore, Rockdale County, GA, does ordain this chapter and establishes this set of floodplain management and flood hazard reduction provisions for the purpose of regulating the use of flood hazard areas. It is determined that the regulation of flood hazard areas and the prevention of flood damage are in the public interest and will minimize threats to public health and safety, as well as to private and public property.

CHAPTER 328 – BUFFERS, LANDSCAPING, AND TREE PROTECTION

Sec. 328-15. - Authority, findings, purpose, and intent.

(a) *Authority.* This article is enacted pursuant to the county's exclusive planning authority granted by the Constitution of the State of Georgia, including but not limited to Ga. Const. art. IX, § II, para. IV, and Ga. Const. art. IX, § II, para. III, as well as authority granted by the General Assembly of the State of Georgia, including but not limited to O.C.G.A. § [36-70-3](#), as well as 1977 Ga. Laws, page 2817, as amended, and 1969 Ga. Laws, page 3639, as amended, and the general police powers of the county and other authority provided by federal, state and local laws applicable to this article.

(b) *Findings, purpose, and intent.* It is the intent of this article to provide standards for landscaping and for the preservation and replacement of trees as part of the land development and building construction process in unincorporated areas of the county. The county finds that the existence of adequate tree cover and landscaping in the county directly affects the public health, safety, and welfare to comprehensively address these concerns through the adoption of the regulations in this article. The purpose and intent of the board of commissioners in enacting this article are as follows:

(1) To protect the health, safety, and general welfare of the citizens of the county, and to implement the policies and objectives of the comprehensive plan through the enactment of a comprehensive ordinance governing tree preservation and replacement in the county.

(2) To require landscaping and the preservation and replacement of trees in certain areas within the county in order to ensure the continued health of its citizens through improved air and water quality.

(3) To provide developers and others active in the county with the appropriate guidance to better ensure proper tree preservation and replacement in the course of the land development process in the county.

(4) To preserve property values in the county by maintaining a safe, aesthetically pleasing environment.

(5) To reduce flooding of county rivers and streams by planting trees and other vegetation so as to aid in slowing the rate of stormwater runoff.

(6) To reduce soil erosion in the county by planting trees and other vegetation so as to aid in prevention of soil loss through stormwater runoff and flooding and to promote stormwater infiltration.

(7) To reduce noise and glare on adjacent properties from properties that have been extensively developed.

(8) To conserve energy by cooling surrounding air temperatures through the existence of adequate shade trees.

(9) To provide improved atmospheric quality by reducing airborne particulates and carbon monoxide and by increasing oxygen through adequate tree cover.

(10) To promote the saving of trees in nodes throughout a development, rather than as individual trees scattered over a development or around the periphery of a development.

(11) To prevent clear-cutting and mass grading of land that results in the loss of mature trees, and to ensure appropriate replanting when tree loss does occur.

Sec. 328-25. - Requirements for other developments.

(a) Each new development not covered by [section 328-24](#) shall prepare a landscape and tree protection and replacement plan showing compliance with this section.

(b) The tree protection and replacement plan must, at a minimum, protect or plant 15 units per acre of trees on

ROCKDALE COUNTY
DEPARTMENT OF PLANNING & DEVELOPMENT

the land being developed. The tree density calculations shall not utilize trees within required buffers in determining for the overall density factor, existing density factor, or replacement density factor. All new developments with eight (8) or more parking spaces or expanded development that results in eight (8) or more parking spaces, shall provide interior landscaping.

(c) Rockdale County has given priority to the retention and placement of trees in frontage planting strips and parking lot planting islands. Trees retained or placed in these areas may be used to meet the tree density factor for a project. However, if the tree density factor is met with trees saved or planted in other areas, the tree location guidelines outlined below must still be performed with additional tree plantings.

(d) *Required landscape strips and re-vegetated buffers.* Landscape strips shall meet the minimum depth requirements as indicated in the following table. Trees may be planted in groups rather than in a single line. Adjoining residential zoning districts, evergreen trees shall be saved or planted in such density or spacing as to provide an eight-foot-tall visual barrier within two years of planting. Required landscaping strips shall not be encroached upon by parking space, driveway surfaces or storm water detention facilities except when complying with requirements below. Driveway crossings may traverse such strip as near to a perpendicular alignment as practical. Signs may be located in the required landscape strip.

Rockdale County Water/Sewer Department

Existing 8” CIP Water main at site. Public 6” Wastewater is serviced by a force main. See Map Attached

WATER AND SEWER MAP

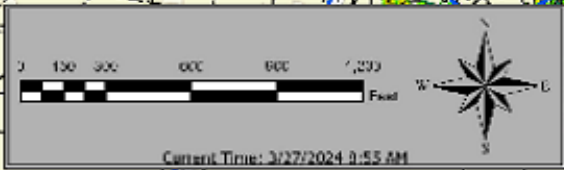
THIS DRAWING IS NOT AN ASBUILT AND SHOULD NOT BE USED AS ONE. THIS DRAWING IS THE COMBINED INFORMATION OF DEVELOPERS RECORDS AND THEREFORE SHOULD NOT BE SUBSTANTIATED AS ACCURATE.



Rockdale Water Resources



Legend:	
SEWER MANHOLE	
	Private
	Public
SEWER MAIN	
	PROPOSED
	ABANDONED
	INACTIVE
	Well sewer valve
SEWER FORCE MAIN	
	IN SERVICE
	ABANDONED
	PROPOSED
	Well sewer valve
WATER HYDRANT	
	PUBLIC
	PRIVATE
	Well sewer valve
WATER VALVE	
	OPEN
	CLOSED
	N/A
	Well sewer valve
WATER MAIN	
	PUBLIC
	ABANDONED
	PRIVATE
	OTHER UTILITY
	PROPOSED
	SIMULTANEOUS
	EXISTING
	COUNTY BOUNDARY
	Prop to Private



Evaluation of the Rezoning Request

O.C.G.A. Chapter 36-66: Zoning Procedure Act

When considering an application to amend the current zoning designation of a property, the Board of Commissioners, the Planning Commission, and the Planning & Development Department shall consider the following:

A. Is the zoning proposal permitted as a use that is suitable in view of the use and development of adjacent and nearby property?

The county properties to the north and south of the subject site are zoned R-3 (Medium Density to High Density Residential) and RM (Multifamily Residential), respectively. R-3 is an inactive zoning district intended for attached one-family dwellings or multifamily dwellings. The R-3 zoned property is developed with apartment buildings that were constructed in 1981. The RM zoned property is in the land disturbance phase of being developed with townhomes pursuant to LDP #21-005350, issued in November of 2023. Townhomes are suitable in view of townhomes as well as apartments, as both uses are considered high density uses.

B. Will the zoning proposal adversely affect the existing use or usability of adjacent or nearby property?

The proposed development will not likely have a negative effect on the surrounding properties. In fact, the proposed townhomes are more suitable than many commercial uses permitted in the C-2 zoning district. Furthermore, the proposed townhome development will adhere to setbacks and buffers permitted by code. The proposed transitional buffer should provide sufficient screening between the proposed townhomes and the existing apartments to the north. The site plan indicates that the proposed townhomes will connect to the townhome development to the south.

C. Will the property to be affected by the zoning proposal have a reasonable economic use as currently zoned?

The property has a more reasonable economic use if rezoned to RM (Residential Multifamily). The subject site is narrow and has limited road frontage, making the site more suitable for townhomes than commercial use. Commercial developers would prefer a site with more road frontage that will be more easily viewed and accessed from the street.

D. Will the zoning proposal result in a use which will or could cause an excessive or burdensome use of existing streets, transportation, facilities, utilities, or schools?

The property should not have an adverse impact on transportation infrastructure. The proposed townhome development is intended to connect to the townhome development to the south and will share a street and access point to Johnson Road SW. Water and sanitary sewer service is made available to the site. In 2024, Sims Elementary School is projected to be at capacity, while Edwards Middle School and Rockdale County High School are projected to be under capacity.

E. Is the zoning proposal in conformity with the Future Land Use Map and the policy intent of the Comprehensive Land Use Plan?

The Future Land Use Category of this property is currently High Density Residential and is in alignment with the proposed zoning.

F. Are other existing or changing conditions affecting the use and development of the property, which give supporting grounds for either approval, or disapproval of the zoning proposal?

If approved, the intent of the proposal will be consistent with similar developments nearby in the area. The proposed zoning proposal would meet the policy and intent of the RM zoning district, supporting an approval of the application.

PLANNING & DEVELOPMENT STAFF RECOMMENDATIONS

Staff recommends Approval with Conditions of the request to rezone from C-2 (General Commercial) to RM (Residential Multifamily).

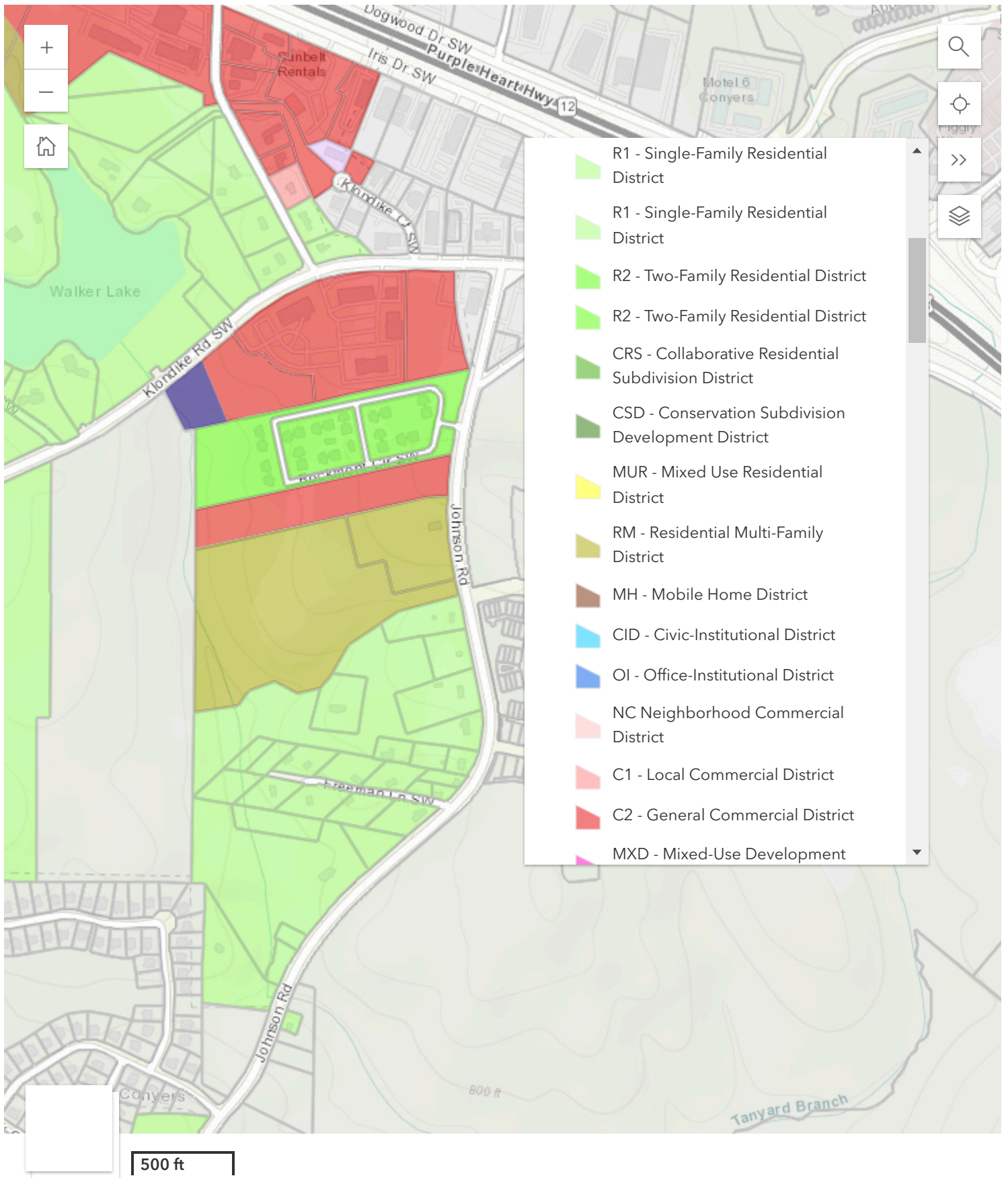
Proposed conditions:

1. The site shall be developed in compliance with the Residential Multifamily (RM) Zoning District, unless otherwise specified in these conditions or through approval of a variance or administrative variance.
2. The site shall be restricted not to exceed 41 townhome units.
3. All townhome units shall have a two-car garage.
4. Provide a 20-foot-wide landscape strip along the frontage of the development and a 10-foot-wide landscape strip along the sides and rear of the development. Trees may be planted in groups rather than in a single line. Required landscaping strips shall not be encroached upon by parking space, driveway surfaces or stormwater detention facilities except when complying with the applicable regulations found within the Unified Development Ordinance.
5. Provide a five-foot-wide concrete sidewalk along one side of all streets in the development.
6. Provide a five-foot-wide concrete sidewalk along Johnson Road SW.
7. A strip of grass or other approved landscape material at least four feet in width shall separate all sidewalks from adjacent curbs on public streets. See Rockdale County Standard Design and Construction details.
8. All roadway and yard grassed areas shall be sodded.
9. All utilities shall be placed underground.
10. Natural vegetation shall remain on the property until the issuance of a development permit.
11. Proposed development must comply with all Rockdale County Land Disturbance requirements.
12. Proposed development must comply with all Rockdale County Standard Design and Construction Details.
13. Streetlights shall be provided throughout the residential development along internal streets. Lighting shall be designed to preclude light spillover. Parking areas shall use only cut-off luminary fixtures mounted in such a manner that its cone of light is directed internally and does not cross any property line of the site.
14. Ground signage for the development shall not exceed eight feet in height. A maximum of two ground signs per public road access are allowed in accordance with Sec. 230-20 of the Unified Development Ordinance.
15. All front building elevations shall be constructed with at least fifty (50) percent of the following building materials: Brick, Indigenous Rock, Natural Stone, and Synthetic Stone, or a combination of Brick, Indigenous Rock, Natural Stone, and Synthetic Stone, with accent building materials that may include but not be limited to Stucco, EIFS, Metal, Painted Cement Siding, and Wood where masonry products are not provided. If Stucco or EIFS is used as an accent building material, those specific building materials shall be limited to a maximum of ten (10) percent of the total building wall, with each elevation being calculated independently. Foundations shall be of brick or natural stone. Where another type of structural material is used, it shall be faced with brick, cast stone, or natural stone, no less than six (6) inches in depth. The side elevations and the rear elevation shall have a masonry water table that matches the predominate masonry building material used on the front elevation. The balance of the side elevations and rear elevation shall be Painted Cement Siding.



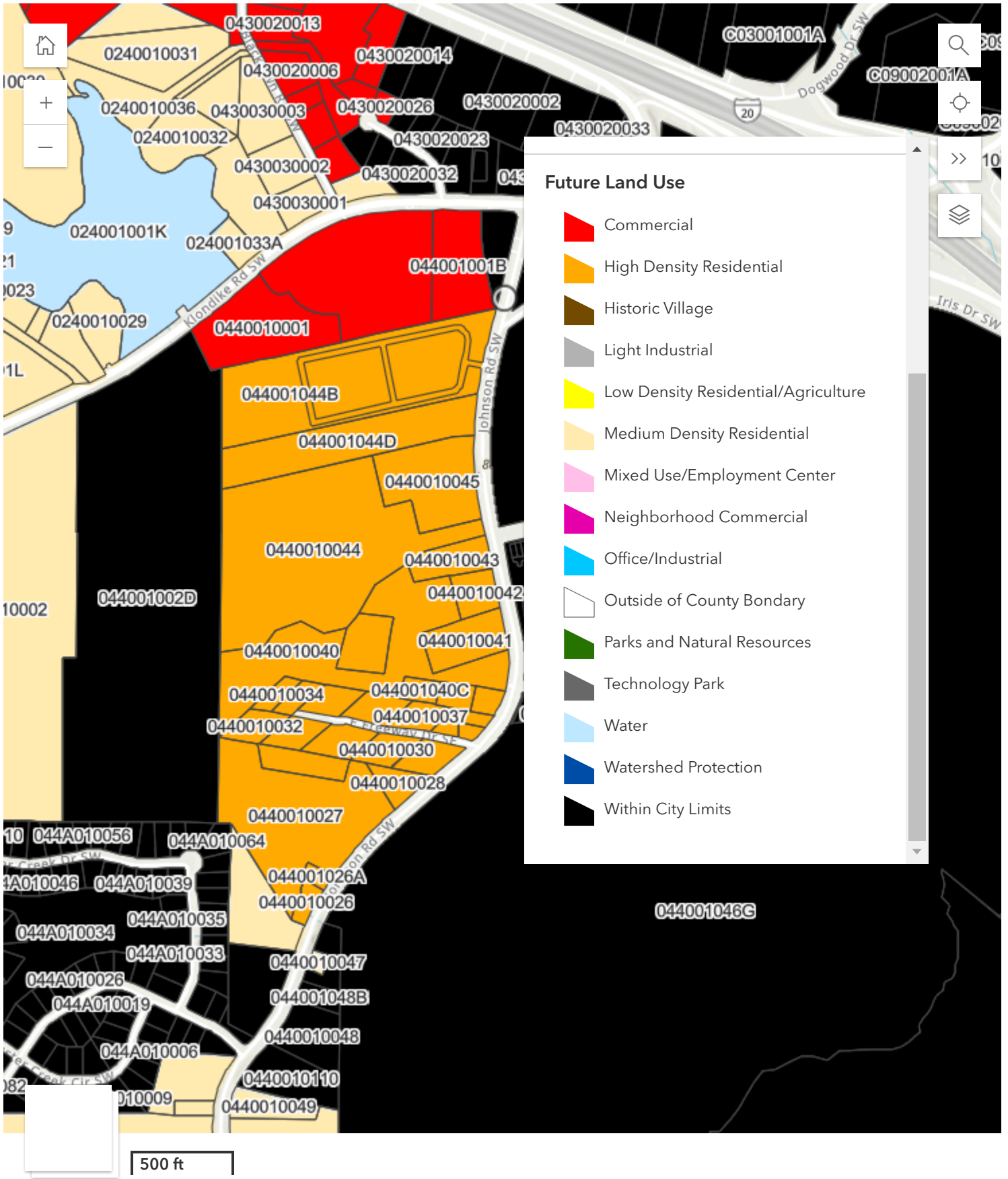


Rockdale County Zoning





Rockdale County Future Land Use



BOARD OF COMMISSIONERS

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DEPARTMENT OF PLANNING & DEVELOPMENT

JULIANA NJOKU, DIRECTOR
PHONE: (770) 278-7100
planning@rockdalecountyga.gov

1/5/2024

PRE-APPLICATION MEETING MINUTES

ATTENDEES: Cal McShan / Cal@crawfordcreekcommunities.com
Dean Conn / Dean@crawfordcreekcommunities.com
Hayley Tood / htodd@pec.plus
Caroline Kirkpatrick / ckirkpatrick@pec.plus

LOCATION: 1079 SW Johnson Road (parcel [044001044D](#))

ACREAGE: 5.00 acres

ZONING: C-2 (General Commercial)

FLUM: High Density Residential

CURRENT USE: Undeveloped

REQUESTS:

- (1) Rezone 5 acres from C-2 to RM (Residential Multifamily) for 41 townhome units.
- (2) Administrative Variance to reduce Transitional Buffer from 50 feet wide to 25 feet wide with a 6-foot-high opaque fence.

NOTES:

- Townhome units are proposed to be fee-simple and for-sale
- Townhome units are proposed to be front-loaded
- Easement to be recorded on the plat and deed

Pre-Application Meeting Date: 1/05/2024

P&D Staff Contacts:

Denise Tugman Denise.Tugman@RockdaleCountyGA.gov

Carolina Angulo Carolina.Angulo@RockdaleCountyGA.gov

Tracie Roberts Tracie.Roberts@RockdaleCountyGA.gov



ROCKDALE COUNTY PLANNING & DEVELOPMENT

P.O. Box 289/958 Milstead Ave NE, Conyers, GA, 30012
Phone: 770-278-7100
Email: planning@rockdalecountyga.gov

CASE #: _____

REZONING (ZONING MAP AMENDMENT) AND ALTERATIONS TO CONDITIONS OF APPROVAL APPLICATION CHECKLIST

This application is required for Rezoning submittals that do NOT require a Future Land Use (FLU) Map Amendment application. Additionally, this application is required for Alterations to or Repeal of Conditions of Approvals. The Instructions provide further details.

FILING INFORMATION (OFFICE USE ONLY)

Filing Date: _____ BOC 1R WS: _____ BOC 1R VS: _____ PC Hearing: _____ BOC Hearing: _____ BOC 2R WS: _____ BOC 2R VS: _____

PROPERTY

Property Address(es): 1079 SW JOHNSON ROAD CONYERS, GA 30024
(With City and Zip Code)

Tax Parcel Numbers: 044001044D

Total Acreage: 5

Number of Properties: 1

Per 2019 House Bill 493, detailed checklists of items required to be submitted for each type of project are supplemental to this application. Each item **must be checked off and a page number where the item is located must be noted** and included with the application. The applicant must sign the affidavit, at the end of the application and each required checklist, certifying that all required items are provided. If there are questions regarding items required for your specific project, contact staff for clarification prior to submitting the application.

Applications that do not provide documentation or required materials will be noted as incomplete and may result in delays in the Board of Commissioners', Planning Commission's, or Staff's review of the application and/or denial of the request. The Board of Commissioners and Planning Commission reserves the right to require additional information if it believes that the submission of such information is necessary to understand the nature of the intended activity.

Revisions made to the applications after the submittal deadline and prior to the Board of Commissioners' or Planning Commission's Public Hearing may be continued to the following month's hearing.

The Unified Development Ordinance (UDO) Sec. 202.6 provides the zoning districts that are permitted within each FLU Category. If the FLU Category permits the proposed zoning district, this application is required.

The filing fee is based upon the number of properties, the amount of acreage of each property that require a Rezoning, the requested Zoning District that is being requested, and the amount of acreage of each property to be rezoned.

REQUIRED Pre-Application Conference (UDO Sec. 238-4(d)(1)):

Date attended and with which staff member:

Completed Application: Provide one (1) digital copy and four (4) hard copies of the entire submittal packet.

Property Information (Page 4)

Contact Information (Page 4): Property Owner(s), Applicant, Authorized Agent, Attorney.

Site and Development Information (Page 5): General information on the property, services and utilities.

Letters from Service Providers:

[Rockdale Water Resources](#) (770-278-7450) or other provider: Public Water Service; Sewer Map; Wastewater Availability and Treatment Capacity; Hydrant Flow;

[Rockdale County Public Schools](#) (770-483-4713), if residential: [What Schools are Zoned for Your Address?](#); Enrollment Count and Capacity;

Electrical Service;

Natural Gas Service;

Telecommunications Service (Internet, Landline Phone, and Cable).

Justification of the Request (Page 6): In your own words, type the reason you believe the zoning of the subject property should be amended.

Rezoning Review Standards (Page 7): Provide justification for each of the review standards listed in UDO Sec. 238-4(g)(1). The Board of Commissioners, the Planning Commission, and the Department will use these standards to evaluate the request.

Conditions of Approval (Page 8): UDO Sec. 238-15. Provide justification for each of the review standards listed in UDO Sec. 238-4(g)(1). The Board of Commissioners, the Planning Commission, and the Department will use these standards to evaluate the request.

- Applicant Certification (Page 9)**
- Ownership Statement and Campaign Contribution Disclosure Statement (Page 10):** If the property is listed in the name of more than one individual or entity, each owner must sign all documents. Property owner(s) signature(s) must be notarized. If the property has been sold within the last 90 days, a copy of the deed with the new owner(s) name(s) is required. Ownership of property will be verified by staff. The owner(s) of the property is required to disclose political campaign contributions. Disclosures must be notarized.
- Agent Authorization Form and Campaign Disclosure Statement (Page 11):** If the owner of the property wishes to have someone represent his/her interest in all matters relating to a rezoning application, the notarized signatures of the owner(s) and agent are required. Agents are required to disclose political campaign contributions. Disclosures must be notarized.
- Attorney Authorization Form and Campaign Disclosure Statement (Page 12):** If the owner of the property wishes to have an attorney represent his/her interest in all matters relating to this application, the notarized signatures of the current owner(s) and attorney are required. Attorneys are required to disclose political campaign contributions. Disclosures must be notarized.
- Proof of Ownership:** Deed recorded with Rockdale County Clerk of Courts. A copy of the deed of the property or properties may be obtained at the Rockdale County Courthouse in the Real Estate Records Room on the 1st floor.
- Original Plat or Survey:** Plat or survey recorded with Rockdale County Clerk of Courts or referenced by the Deed, if not recorded.
- Survey Plat:** Signed and sealed by an architect, engineer, landscape architect or land surveyor. A copy of the existing survey plat of the property or properties may be obtained at the Rockdale County Courthouse in the Real Estate Records Room on the 1st floor. However, one complete boundary survey is required for projects with more than one property.
- Legal Description of the Property:** This written description, found on the property deed, containing the metes & bounds of the property or properties. However, the legal description must be provided in Word with this application.
- Site Plan:** Drawn to scale, showing all existing property improvements, and all proposed improvements. The Conceptual Development Plan may include any additional graphics which will explain the features of the development, but shall include the following:
 - A written description of the details of the proposed use and development details.
 - A vicinity map showing the use and zoning of all properties within one (1) mile of the property subject to the rezoning request.
 - All proposed setbacks, buffer yards, structure heights, and lot coverage calculations.
 - All proposed buildings, structures, fences, or walls, areas of outdoor storage, permanent dumpsters, and other improvements to be located upon the site and adjacent sites within 400 feet of the subject property.
 - All proposed open spaces and recreational amenities.
 - All proposed stormwater management facilities and connections (all stormwater connections shall be subject to the approval of the Rockdale County Stormwater Department).
 - All proposed location and capacities of public and private utilities (all septic systems shall be subject to the approval of the Rockdale County Environmental Health Department, all public sewer and water connections shall be subject to the approval of the Rockdale County Water Resources or public service provider).
 - Lakes, streams, other water bodies, and wetlands on or adjacent to the site and associated buffers.
 - All proposed public improvements including sidewalks, street trees, and right-of-way dedications.
 - All proposed locations for temporary uses, such as seasonal sales areas.
 - Such other and additional information as may be requested by the Zoning Administrator.

Current and Proposed FLU Category and Zoning District for Each Property:

Address	Tax Parcel No.	Acreage	Current FLU Category		Current Zoning District	Proposed Zoning District
1079 SW JOHNSON ROAD	044001044D	5	HDR		C-2	RM

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Filing Fee: The non-refundable filing fee is payable at the time of application. Payment may be made by cash (exact amount), credit card (VISA or Mastercard), check, or money order payable to Rockdale County. The filing fee is based upon the number of properties, amount of acreage of each property to be rezoned, and the type of zoning that is being requested.

Development of Regional Impact (DRI) required by UDO Sec. 238-5. See Pages x and x of the Instructions for the ARC DRI Thresholds.

Fee: \$1,200

Rezoning to AR, R-1, CRS, CDS, and CSO

Acres	Fee per Property	Tax Parcel Nos.	No. of Properties	Fee Amount (Fee x #)
<input type="checkbox"/> 0-4.99 acres	\$250			\$
<input type="checkbox"/> 5-9.99 acres	\$300			\$
<input type="checkbox"/> 10-19.99 acres	\$400			\$
<input type="checkbox"/> 20 acres and more	\$500			\$

Rezoning to R2, MRU, and RM

Acres	Fee per Property	Tax Parcel Nos.	No. of Properties	Fee Amount (Fee x #)
<input type="checkbox"/> 0-4.99 acres	\$300			\$
<input type="checkbox"/> 5-9.99 acres	\$400			\$
<input type="checkbox"/> 10-19.99 acres	\$550			\$
<input type="checkbox"/> 20 acres and more	\$700			\$

Rezoning to a Nonresidential District

Acres	Fee per Property	Tax Parcel Nos.	No. of Properties	Fee Amount (Fee x #)
<input type="checkbox"/> 0-4.99 acres	\$300			\$
<input type="checkbox"/> 5-9.99 acres	\$500			\$
<input type="checkbox"/> 10-19.99 acres	\$700			\$
<input type="checkbox"/> 20 acres and more	\$900			\$

Filing Fee (Fee Amount + DRI Fee) \$

AFFIDAVIT CERTIFYING COMPLETENESS OF APPLICATION

I hereby acknowledge that I understand the requirements listed above for what constitutes a complete application. I have checked off each box and included a page number where the item is located. I confirm that the requirements for a complete application have been met.

DEAN CONN, ON BEHALF OF CRAWFORD CREEK COMMUNITIES the undersigned applicant also hereby verifies that he or she is 18 years of age or older and has provided at least one secure and verifiable document, as required by O.C.G.A. 50-36-1(e)(1), with this affidavit.

Wait to be in front of notary to sign: [Signature] (Signature) DEAN CONN, ON BEHALF OF CRAWFORD CREEK COMMUNITIES (Applicant's Name) 12-15-2023 (Date)

NOTARY

The secure and verifiable document provided with this affidavit can best be classified as: Rezoning Application (type of document)

Executed in Evrovetown (city), Columbia (county), GA (state), this 17th (day) day of Jan (month), 2024 (year)

[Signature]
Notary Public signature
9-11-2026
GA Registration No. and expiration date





ROCKDALE COUNTY PLANNING & DEVELOPMENT

P.O. Box 289/958 Milstead Ave NE, Conyers, GA, 30012
Phone: 770-278-7100
Email: planning@rockdalecountyga.gov

CASE #: _____

ZONING MAP AMENDMENT (REZONING) AND ALTERATIONS TO CONDITIONS OF APPROVAL APPLICATION FILING INFORMATION (OFFICE USE ONLY)

Filing Date:	BOC 1R WS:	BOC 1R VS:	PC Hearing:	BOC Hearing:	BOC 2R WS:	BOC 2R VS:
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PROPERTY INFORMATION

Property Address(es): 1079 SW JOHNSON ROAD, (With City and Zip Code) CONYERS, GA 30094			Tax Parcel Numbers: 044001044D		
Total Acreage: 5 ACRES PER QPUBLIC			Number of Properties:		
Subdivision: N/A		Land Lot(s): 242, 243, 267, 268		District(s): 16	
Current Zoning: C-2			Proposed Zoning: RM		
Current FLU Category: HIGH DENSITY RESIDENTIAL (HDR)					
Current Use: VACANT/UNDEVELOPED			Proposed Use: 41 SINGLE-FAMILY ATTACHED UNITS		
Zoning History (Rezoning, Special Use Permits, Variances, etc.): N/A					
Are there existing conditions of zoning for the property? If so, please list on page 8. NO / N/A					
Purpose of requested amendment: TO FACILITATE DEVELOPMENT OF 41 NEW, SINGLE-FAMILY ATTACHED UNITS					

APPLICANT INFORMATION

Applicant / Authorized Agent: DEAN CONN			Authorized Agent / Attorney: HAYLEY TODD		
Business / Person Name: CRAWFORD CREEK COMMUNITIES			Business / Person Name: PEC+		
Address: 2504 RAVENNA LANE			Address: 350 RESEARCH COURT		
City: EVANS	State: GA	Zip: 30809	City: NORCROSS	State: GA	Zip: 30092
Office #:	Mobile #: 404-314-4388		Office #:	Mobile #: 757-508-6593	
Email: DEAN@CRAWFORDCREEKCOMMUNITIES.COM			Email: HTODD@PEC.PLUS		
Applicant Status (check one): <input type="checkbox"/> Owner <input checked="" type="checkbox"/> Authorized Agent					

PROPERTY OWNER INFORMATION

Owner 1: DEAN CONN			Owner 2:		
Business / Person Name: CRAWFORD CREEK COMMUNITIES			Business / Person Name:		
Owner of Tax Parcel No(s): 044001044D			Owner of Tax Parcel No(s):		
Address: 2504 RAVENNA LANE			Address:		
City: EVANS	State: GA	Zip: 30809	City:	State:	Zip:
Office #:	Mobile #:		Office #:	Mobile #:	
Email:			Email:		

PROPERTY OWNER INFORMATION

Owner 3:			Owner 4:		
Business / Person Name:			Business / Person Name:		
Owner of Tax Parcel No(s):			Owner of Tax Parcel No(s):		
Address:			Address:		
City:	State:	Zip:	City:	State:	Zip:
Office #:	Mobile #:		Office #:	Mobile #:	
Email:			Email:		

SITE INFORMATION

Any Applicable Zoning Overlay Districts:

Schools:

(If this request is for a commercial, industrial or office institutional zoning, school enrollment figures are not required, but the location of the nearest schools must still be completed.)

Type	Name	Current Enrollment	Capacity	Difference
Elementary School:	SIMS ELEMENTARY	720	736	16
Middle School:	EDWARDS MIDDLE	1003	1166	163
High School:	ROCKDALE HIGH	1419	1760	341

Transportation:

	North	South	East	West
Adjacent Roads:				
Existing ROW:	NONE	NONE	JOHNSON ROAD	NONE
Future ROW:	N/A	N/A		N/A
Type:	N/A	N/A	PUBLIC PAVED ROAD	N/A

Types: County Rd; State Hwy; Private Dr; Paved; Dirt; Other

Are there state or county road improvements planned that would impact the rezoning site (by either Rockdale County or GDOT)?

If so, please identify: NOT THAT THE APPLICANT IS AWARE OF

Utilities:

Gas Service: ATLANTA GAS LIGHT

Electric Service: GA POWER

Potable Water (check one):

Public System

Well

Location of Nearest Line:

Diameter of Line:

Distance to Closest Fire Hydrant:

Wastewater (check one):

Public System

Septic Tank

Nearest Treatment Plant: QUIGG BRANCH WWTP

Evaluation by Soil Scientist:

Max Operating Capacity: 22.1 MGD

Environmental Health Approval:

Level of Operation: 12 MGD

Are there any utility easements recorded on the land to be considered for rezoning?

If, so please describe:

Stormwater:

FIRM Panel No. and Date: 132477C0091D 12/8/2016

Basin:

Sub-Basin:

Are there streams, rivers, lakes or other water bodies located on or adjoining this site?

If so, please identify: STREAM TO THE WEST, STREAM BUFFER ON BACK PL

Property Floodplain?

Within

Zone: N/A

If so, has it been identified on your property plat?

Yes

No

How many acres are impacted by floodplain?

N/A

Wetlands

Type: N/A

DEVELOPMENT INFORMATION

Type of Development: (check one)

Residential

Nonresidential

Mixed Use

Type of Residential: (check one)

Single-Family Residential

Two-Family Residential

Multi-Family Residential

Type of Nonresidential:

If Use Contains a Residential Component:

Number of Units: 41

Acreage: 5

Residential Density (Lots/Units per Acre): 8.2

If Use Contains a Commercial Component:

Total Building Area Proposed: N/A

Number of Parking Spaces: 193

Does the development qualify for a Development Regional Impact (DRI)? See pages 12 and 13 of the Application Instructions for more information.

Yes

No

JUSTIFICATION OF THE REZONING REQUEST

In your own words, type the reason you believe the zoning of the subject property should be amended. Please address the following:

1. The intent of the proposed amendment and the intended timing and phasing of development. State the reasons why you believe the current zoning district classification for the subject rezoning site is incorrect and why approval of a different zoning district classification is appropriate.

SEE ATTACHMENT

2. The impact of the proposed amendment on the capacities of public facilities including, but not limited to, transportation facilities, sewage facilities, water supply, parks, drainage, schools, solid waste, and emergency medical facilities.

3. The impact of the proposed amendment on the natural environment, especially existing trees, water bodies, and water quality.

4. The contribution of the proposed amendment to an orderly and logical development pattern.

REZONING REVIEW STANDARDS

Additionally, provide justification for each of the following review standards (UDO Sec. 238-4(g)(1)). The Board of Commissioners, the Planning Commission and the Department will use these standards to evaluate the request:

a. Whether a proposed rezoning will permit a use that is suitable, in view of the use and development of adjacent and nearby property.

SEE ATTACHMENT

b. Whether the property to be affected by a proposed rezoning has a reasonable economic use as currently zoned.

c. The impact of the proposed amendment on the natural environment, especially existing trees, water bodies and water quality.

d. Whether the proposed rezoning will result in a use that will or could cause an excessive or burdensome use of existing streets, transportation facilities, utilities or schools.

e. Whether the proposed rezoning is in conformity with the policy and intent of the comprehensive plan.

f. Whether there are other existing or changing conditions affecting the use and development of the property that give supporting grounds for either approval or disapproval of the proposed rezoning.

g. Whether, and the extent to which, the proposed amendment would result in significant adverse impacts on the natural environment.

h. The feasibility of serving the property with public wastewater treatment service and the impacts of such on the wastewater system; and, if an alternative wastewater treatment method is proposed, whether such wastewater treatment method is authorized in Rockdale County and will have a detrimental impact on the environment.

ALTERATIONS TO OR REPEAL OF THE CONDITIONS OF APPROVAL

This page is only required for existing Conditions of Approval that were imposed with the adoption of a Zoning Map Amendment (Rezoning). If Conditions of Approval exist for a Future Land Use Map Amendment or a Special Use Permit that need to be changed, separate application(s) are required.

a. List the existing conditions of approval:

N/A

b. List the existing conditions of approval that are proposed to be altered and/or repealed:

c. Provide justification for the proposal:

APPLICANT CERTIFICATION

Please read and initial the following statements:

- DL 1. I hereby request the County consider the information contained within this application relative to the property shown on the attached plats and site plan and further request that this item be placed on the Planning Commission (PC) and/or Board of Commissioners (BOC) Agenda for a public hearing.

- DL 2. I understand that my request will be rejected if all the necessary information and/or requirements are not presented.

- DL 3. I understand that I have an obligation to present all necessary information required by the Rockdale County Department of Planning & Development (P&D) to enable the PC and/or BOC to make an informed determination on my request. I will seek advice of P&D Staff or an attorney if I am not familiar with the zoning and land use requirements.

- DL 4. I understand that my request will be acted upon at the PC and BOC Public Hearings and that I am required to be present or to be represented by the authorized representative as indicated on this application, so that someone is available to present all facts and answer questions. I understand that failure to appear at a public hearing may result in the postponement or denial of my request. I further understand that it is my responsibility to be aware of relevant public hearing dates and times regardless of notification from Rockdale County.

- DL 5. The Rockdale County Unified Development Ordinance requires a public participation sign on the subject property. In order to ensure that the correct information is included on the public participation sign, P&D will prepare the sign and post the sign.

- DL 6. I hereby acknowledge that I understand the requirements listed on the checklist for what constitutes a complete application. I have checked off each box and included a page number where the item is located. I confirm that the requirements for a complete application have been met.

- DL 7. I have read and understood the applicable sections of the Rockdale County Unified Development Ordinance, as provided in the Instructions.

DEAN CONN, ON BEHALF OF CRAWFORD CREEK COMMUNITIES, the undersigned also hereby verifies that he or she is 18 years of age or older and has provided at least one secure and verifiable document, as required by O.C.G.A. § 50-36-1(e)(1), with this affidavit.

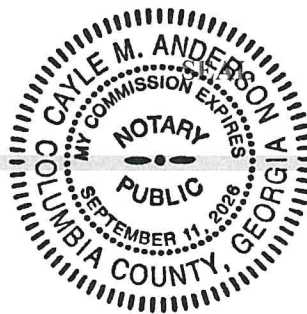
Wait to be in front of notary to sign:	<u><i>U. A. Conn</i></u> (Signature)	DEAN CONN (Applicant's Name)	12/15/2023 (Date)
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NOTARY

The secure and verifiable document provided with this affidavit can best be classified as:	<u>Rezoning Application</u> (type of document)
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Executed in Grovetown, Columbia, GA, this 18th day of Dec, 2023
(city) (county) (state) (day) (month) (year)

<u><i>Cayle M. Anderson</i></u> Notary Public signature	
<u>9-11-2026</u> GA Registration No. and expiration date	





ROCKDALE COUNTY PLANNING & DEVELOPMENT

P.O. Box 289/958 Milstead Ave NE, Conyers, GA, 30012
Phone: 770-278-7100
Email: planning@rockdalecountyga.gov

OWNERSHIP STATEMENT & OWNER'S CAMPAIGN DISCLOSURE STATEMENT

To be completed by each owner of the subject property or properties as it appears on the Rockdale County tax records. Husband and wife or other individuals shall each sign individually. Make copies if needed.

OWNERSHIP STATEMENT

As the current owner(s) of Tax Parcel #(s) 0440010044, I
(we) respectfully request that the subject property be rezoned and/or that Alterations to Conditions of Zoning be made.

Name: Dean A. Conn	Address: 201 Insperon Drive	City: Grovetown	State: GA	Zip: 30813
Firm:	Phone #'s: 706-210-9981	Email: Dean@crawfordcreekcommunities.com		

If the owner is a business, list the Registered Agent or Authorized Signatory:

OWNER'S CAMPAIGN DISCLOSURE STATEMENT

- No, I have not made, within two (2) years immediately preceding the filing of this application, campaign contributions or gifts of \$250.00 or more to any local government official of Rockdale County, Georgia listed below.
- Yes, I have made, within two (2) years immediately preceding the filing of this application, campaign contributions or gifts of \$250.00 or more to any local government official of Rockdale County, Georgia listed below.

If yes, notate to whom the campaign contribution was made during the two years immediately preceding the filing of the application, the dollar amount, description of each contribution, and the date each contribution below and continue on a separate sheet if necessary, in the following format:

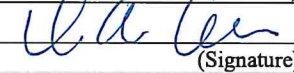
Rockdale County Board of Commissioners

Name	Position	Amount	Description	Date
Oz Nesbitt, Sr.	Chairman			
Sherri L. Washington, Esq.	Post I Commissioner			
Doreen Williams, PhD	Post II Commissioner			

Conyers-Rockdale Planning Commission

Name	Position	Amount	Description	Date
Steve Weinstein, PhD	PC Chairman, County			
Tom Harrison	Vice-chair, City			
Tawanna Smith-Fenty	City			
Ernestine Stovall-Goolsby	County			
Steven Holmes	City			
Tameika White	City			
Ronnie Burrell	County			

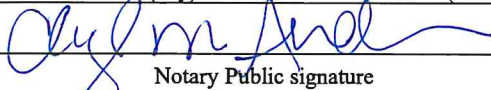
_____, the undersigned also hereby verifies that he or she is 18 years of age or older and has provided at least one secure and verifiable document, as required by O.C.G.A. 50-36-1(e)(1), with this affidavit.

Wait to be in front of notary to sign:	 (Signature)	<u>Dean Conn</u> (Owner's Name - Printed)
--	--	--

NOTARY

The secure and verifiable document provided with this affidavit can best be classified as:	<u>Disclosure Statement</u> (type of document)
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Executed in Grovetown, Columbia, GA, this 18th day of Dec, 2023
(city) (county) (state) (day) (month) (year)

 Notary Public signature
<u>9-11-2026</u> GA Registration No. and expiration date





ROCKDALE COUNTY
PLANNING & DEVELOPMENT
P.O. Box 289/958 Milstead Ave NE, Conyers, GA, 30012
Phone: 770-278-7100
Email: planning@rockdalecountyga.gov

**AGENT
AUTHORIZATION
STATEMENT**

To be completed by each owner of the subject property or properties as it appears on the Rockdale County tax records if they wish to have an agent represent them in all matters related to this application. Husband and wife or other individuals shall each sign individually. Make copies if needed.

AGENT AUTHORIZATION STATEMENT

I, HAYLEY TODD
hereby certify that I have authorized the following agent to make the request, claims and representation pursuing this application regarding Tax Parcel Nos.:

Agent's Name: HAYLEY TODD	Address: 350 RESEARCH CT	City: NORCROSS	State: GA	Zip: 30092
Firm: PEC+	Phone #'s: 757-508-6593	Email:		

SIGNATURE

Wait to be in front of notary to sign: _____
Hayley Todd
(Owner's Signature)
HAYLEY TODD, PEC+
(Owner's Name - Printed)

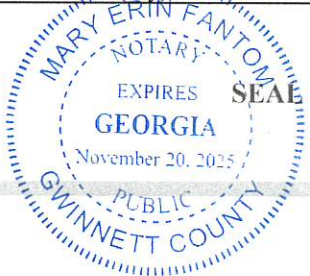
NOTARY

The secure and verifiable documents provided with this affidavit can best be classified as: _____
(type of document)

Executed in NORCROSS GWINNETT GA, this 21ST day of DEC, 2023
(city) (county) (state) (day) (month) (year)

Mary Erin Fantom
Notary Public signature

W-00532307 11/20/2025
GA Registration No. and expiration date





ROCKDALE COUNTY PLANNING & DEVELOPMENT

P.O. Box 289/958 Milstead Ave NE, Conyers, GA, 30012
Phone: 770-278-7100
Email: planning@rockdalecountyga.gov

AGENT'S/ATTORNEY'S CAMPAIGN DISCLOSURE STATEMENT

To be completed by the agent and the attorney. If both are involved, each shall sign individually. Make copies if needed.

AGENT'S/ATTORNEY'S CAMPAIGN DISCLOSURE STATEMENT

- No, I have not made, within two (2) years immediately preceding the filing of this application, campaign contributions or gifts of \$250.00 or more to any local government official of Rockdale County, Georgia listed below.
- Yes, I have made, within two (2) years immediately preceding the filing of this application, campaign contributions or gifts of \$250.00 or more to any local government official of Rockdale County, Georgia listed below.

If yes, notate to whom the campaign contribution was made during the two years immediately preceding the filing of the application, the dollar amount, description of each contribution, and the date each contribution below and continue on a separate sheet if necessary, in the following format:

Rockdale County Board of Commissioners

Name	Position	Amount	Description	Date
Oz Nesbitt, Sr.	Chairman			
Sherri L. Washington, Esq.	Post I Commissioner			
Doreen Williams, PhD	Post II Commissioner			

Conyers-Rockdale Planning Commission

Name	Position	Amount	Description	Date
Steve Weinstein, PhD	PC Chairman, County			
Tom Harrison	Vice-chair, City			
Tawanna Smith-Fenty	City			
Ernestine Stovall-Goolsby	County			
Steven Holmes	City			
Tameika White	City			
Ronnie Burrell	County			

SIGNATURE

Wait to be in front of notary to sign: _____
 (Agent's/Attorney's Signature)

_____ HAYLEY TODD, PEC+
 (Agent's/Attorney's Name - Printed)

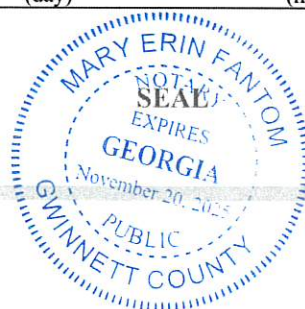
NOTARY

The secure and verifiable documents provided with this affidavit can best be classified as: _____
 (type of document)

Executed in Norcross (city), GWINNETT (county), GA (state), this 21st (day) day of Dec (month), 2023 (year)

Mary Erin Fantom
 Notary Public signature

W-0053207 11/20/2025
 GA Registration No. and expiration date



12/21/2023

Re: **Justification of Request**
1079 Johnson Road
PEC+ Project No. 19112.02

Dear Community Development officials,

Below are responses to statements on Page 6 of the Rezoning application:

- 1. The intent of the proposed amendment and the intended timing and phasing of development. State the reasons why you believe the current zoning district classification for the subject rezoning site is incorrect and why approval of a different zoning district classification is appropriate.**

The proposed rezoning of this property from C-2 to RM would facilitate the development of a new, single-family attached development consisting of 41 townhomes. The subject property is approximately 5 acres in size. The owner and applicant is seeking this rezoning because the current zoning designation is not viable for this site. The size, shape, and topography of the site are not suitable for the large footprints of commercial uses. The applicant believes that a more appropriate use of the property would be residential, in view of the extreme depth and varied terrain of the property, and the potential to take advantage of the off-thoroughfare situation of the proposed project that would otherwise hinder the commercial uses for which the property is zoned.

- 2. The impact of the proposed amendment on the capacities of public facilities including, but not limited to, transportation facilities, sewage facilities, water supply, parks, drainage, schools, solid waste and emergency medical facilities.**

This project will likely have little impact to transportation facilities, given its proximity to a variety of major roadways: Klondike Road and Interstate 20 are located within one mile of the site. Johnson Road is also a collector road that connects to Flat Shoals and the City of Conyers' commercial core. Additionally, the proposed project site is located near several proposed commercial centers, so certain errands will be able to be accomplished on foot or by bike. Because of this ideal location, it is anticipated that the units will appeal to a variety of demographics; which could consist of young, married couples, single adults, few families with children, empty-nesters, and seniors looking to downsize. As a result, facilities such as schools and hospitals are not anticipated to be overburdened by any particular demographic group. Additionally, all of the schools closest to the site are operating well under capacity (by at least 100 students per school), so it is unlikely that schools would be overcrowded as a result of the development. Trash pickup would occur house-by-house and would not have a dumpster.

- 3. The impact of the proposed amendment on the natural environment, especially existing trees, water bodies and water quality.**

The design for the subject property responds to natural features with sensitivity by providing on-site stormwater management ponds that would capture stormwater runoff from the site before it could affect water quality. The site is currently undeveloped and has a substantial tree canopy, so a significant portion of the trees would be cut down and removed to facilitate the development. However, trees would remain fully intact and undisturbed to every extent possible. Another important consideration for this proposal is that currently, the property could be developed with intense commercial uses as-of-right, which would likely result in higher impervious coverage and more trees lost; the net effect of the RM proposal would be

felt far less than a C2 development.

4. The contribution of the proposed amendment to an orderly and logical development pattern

The proposed amendment contributes to an orderly and logical development pattern. This property has a future land use designation of 'High Density Residential' as identified in Rockdale County's comprehensive plan. This future land use designation directs residential development at higher densities to occur here, rather than other unincorporated areas of Rockdale County. In the growing suburbs of major cities, it is critical to keep up with the demand for housing. New housing should be located close to the confluence of significant roadways, near job centers, and in close proximity to goods and services. This development proposes single-family attached homes at a higher density to match the more intense commercial and retail uses located just to the east of the site. It keeps land use density and intensity focused where such development patterns have already been established. Additionally, the proposed development addresses the need for more diverse housing offerings in the County, a goal expressed explicitly in the County's comprehensive plan.

Sincerely,

Hayley Todd

Zoning Manager, Planners and Engineers Collaborative, Inc.

12/21/2023

Re: **REZONING APPLICATION - Review Standards UDO Sec. 238-4(g)(1)**
1079 Johnson Road
PEC+ Project No. 19112.02

Dear Planning and Development Department,

See below the justifications for each of the review standards per UDO Sec. 238-4(g)(1):

a. Whether a proposed rezoning will permit a use that is suitable in view of the use and development of adjacent and nearby property.

The proposed rezoning will permit a use that is suitable in view of the use and development of adjacent and nearby property. As mentioned above, the subject site is located behind a site proposed slated for a mixed commercial development. This proposal would help to grow this mixed corridor by placing an appropriate amount of housing density nearby. At the same time, this rezoning/use would contribute to the rational transition in land use intensity from those nearby commercial uses to the single-family homes located to the west of the site, and further down Johnson Road. As the market will demand growth in this area in the future, this site will serve as a buffer in land use density and intensity between these homes and more intense uses that will fill out surrounding parcels in the future.

b. Whether a proposed rezoning will adversely affect the existing use or usability of adjacent or nearby property.

The proposed development will not adversely affect the existing uses or usability of adjacent or nearby property. The site plan will preserve the existing mature trees on the site to the extent possible, which would protect adjacent properties from noise, views or other disturbance caused by the proposed development. The stormwater ponds would capture any runoff from impervious surfaces before it could reach the stream on the western side of the site or adjacent properties. The property could currently be developed as more intense, highway commercial uses which would arguably be more of a nuisance than a residential use.

c. Whether the property to be affected by a proposed rezoning has a reasonable economic use as currently zoned.

The property's economic use is limited by the current zoning designation. As mentioned in the justification of the request, the site is extremely long (approximately 1200 feet) with very little commercial frontage relative to the depth of the site for the entire parcel to be viable for commercial use. Additionally, the size, shape, and topography of the site are not suitable for the large footprints of commercial uses. Therefore, the applicant is of the opinion that this site would be more reasonably zoned for a residential use than a commercial use—so as to better respond to existing natural conditions of the site and to support the growing commercial uses to the east of the site.

d. Whether the proposed rezoning will result in a use that will or could cause an excessive or burdensome use of existing streets, transportation facilities, utilities, or schools.

This project will likely have little impact to transportation facilities, given its proximity to a variety of major roadways: Klondike Road and Interstate 20 are located within one mile of the site. Johnson Road is also a collector road that connects to Flat Shoals and the City of Conyers' commercial core. Additionally, if approved, the project will situate residential uses within walking or biking distance of a substantial commercial node, shifting away from the need to use cars for certain errands. Because of this ideal location, it is anticipated that the units will appeal to a variety of demographics; which could consist of young, married couples, single

adults, few families with children, empty-nesters, and seniors looking to downsize. As a result, facilities such as schools and hospitals are not anticipated to be overburdened by any particular demographic group. Additionally, all of the schools closest to the site are operating well under capacity (by at least 100 students per school), so it is unlikely that schools would be overcrowded as a result of the development.

e. Whether the proposed rezoning is in conformity with the policy and intent of the comprehensive plan.

The proposed rezoning is in conformity with Rockdale County's comprehensive plan. This property has a future land use designation of 'High Density Residential' as identified in Rockdale County's comprehensive plan. This designation is intended to encourage higher density uses near major commercial nodes and employment centers. This development proposes single-family attached homes at a higher density which would support the more intense commercial and retail uses that will soon be located just to the east of the site. It keeps land use density and intensity focused where such development patterns have already been established. Additionally, the proposed development addresses the need for more diverse housing offerings in the County, a goal expressed explicitly in the County's comprehensive plan.

f. Whether there are other existing or changing conditions affecting the use and development of the property that give supporting grounds for either approval or disapproval of the proposed rezoning.

According to the Atlanta Regional Commission, Rockdale County is anticipated to experience a net population gain of approximately 38,000 people within the next 20 years. Currently, there is a 6% vacancy rate of housing County-wide, compared to an approximately 10% vacancy rate of housing across the entire region. This gap, coupled with the anticipated rise in population points to a need—present and future—for additional housing in the Rockdale area. This zoning, if approved, would help address this need, by providing new single-family attached housing targeted at a variety of buyers.

g. Whether, and the extent to which, the proposed amendment would result in significant adverse impacts on the natural environment.

The proposed amendment would not pose significant adverse impacts to the natural environment. The proposal would preserve existing trees to the extent possible, limiting the overall disturbance. The project also makes provisions for stormwater collection, preventing runoff from the development from impacting adjacent properties, the bordering roadways, or flowing into Almand Creek, along the western property line. The alternative to this residential zoning proposal would be developing the site as-of-right into a commercial property with a substantial amount of impervious coverage from surface parking and a large building footprint, which is undoubtedly more consequential to the natural environment.

h. The feasibility of serving the property with public wastewater treatment service and the impacts of such on the wastewater system; and, if an alternative wastewater treatment method is proposed, whether such wastewater treatment method is authorized in Rockdale County and will have a detrimental impact on the environment.

According to data provided by Rockdale County Water Resources, the property would utilize a septic system. Should the subject parcel be rezoned, the resulting development could feasibly be serviced by the public sewer system, due to available capacity—currently the sewer system in this area is only operating at 12 million gallons per day (MGD) out of an available 22MGD.

Sincerely,

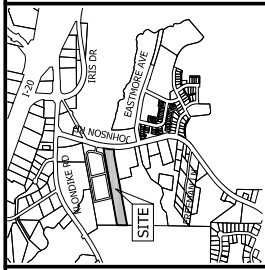
Hayley Todd

Zoning Manager, Planners and Engineers Collaborative, Inc.



This Plat is a retracement of an existing parcel or parcels of land and does not subdivide or create a new parcel or make any changes to any real property boundaries. The recording information of the documents, maps, plats, or other instruments which created the parcel or parcels are stated herein. RECORDATION OF THIS PLAT DOES NOT IMPLY APPROVAL OF ANY LOCAL JURISDICTION, AVAILABILITY OF PERMITS, COMPLIANCE WITH LOCAL REGULATIONS OR REQUIREMENTS, OR SUITABILITY FOR ANY USE OR PURPOSE OF THE LAND. Furthermore, the undersigned land surveyor certifies that this plat complies with the minimum technical standards for property surveys in Georgia as set forth in the rules and regulations of the Georgia Board of Registration for Professional Engineers and Land Surveyors and as set forth in O.C.G.A., Section 15-6-67.

James S. Hull, Jr.
 James S. Hull, Jr. GA RLS 28359
 PARCEL 044001044D
 DB-38359, PG.127



LOCATION MAP

RECORDING INFORMATION

SAWCO DEVELOPMENT GROUP LLC
 N/F
 111 JOHNSON ROAD, SW
 CONYERS, GA 30094
 SITE: 1111 JOHNSON RD
 DB 6468 PG 75
 PARCEL 0440010044

RECORDER OF DEEDS
 825 WEST RETRIEVE
 ROSWELL, GA 30075
 SITE: 1600 ROCKMOUNT CIR
 DB 6423 PG 336
 PARCEL 044001020

RECORDER OF DEEDS
 1385 BROADWAY, 16TH FLOOR
 NEW YORK, NY 10018
 SITE: 1200 ROCKMOUNT CIR
 DB 7162 PG 346
 PARCEL 044001044B

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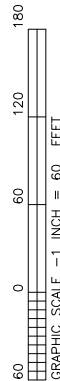
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 DB 7162 PG 346
 PARCEL 044001044B

RETRACEMENT SURVEY FOR:

Crawford Creek Acquisitions, LLC

LAND LOTS 267 & 268 - 16TH DISTRICT ROCKDALE COUNTY, GEORGIA

DATE OF FIELD WORK: 08-30-2023
 DATE OF PLAT PREPARATION: 08-31-2023
 EQUIPMENT USED: LEICA GS18



PATRICK & ASSOCIATES, INC.
 SURVEYING & ENGINEERING
 928 BLACKLAWN ROAD
 CONYERS, GEORGIA 30094
 PHONE: 770-483-9745

OWNER:
 PARCEL 044001044D
 EMMANUEL HAITIAN CHURCH INC
 A DOMESTIC NONPROFIT CORPORATION
 PO BOX 1421
 SUWANNEE, GA 30024
 DB 3839, PG.127
 1079 SW JOHNSON RD

- TEXT LEGEND
- IPF IRON PIN FOUND
 - IPS IRON PIN SET
 - REBAR
 - OTF OPEN TOP PIPE
 - CLF CHAIN LINK FENCE
 - CONC. CONCRETE
 - END. FOUND
 - LLL LAND LOT LINE
 - MH MANHOLE
 - JB JUNCTION BOX
 - DWCB DOUBLE WING CATCH BASIN
 - P OVERHEAD POWER
 - PP POWER POLE
 - POB POINT OF BEGINNING
 - POC POINT OF COMMENCEMENT
 - IRF IRON ROD FOUND
 - WV WELDED METAL PIPE
 - TEL. M. TELEPHONE MANHOLE
 - RAW RIGHT-OF-WAY

UTILITY NOTE:
 PATRICK & ASSOCIATES, INC. NOR THE LICENSED PROFESSIONAL ASSUME ANY LIABILITY FOR THE EXISTENCE, LOCATION, MATERIAL OR SIZE OF ANY UNDERGROUND UTILITY SHOWN ON THIS SURVEY. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE EXISTENCE, EXACT LOCATION, MATERIAL AND SIZE OF ANY UNDERGROUND UTILITY BEFORE BIDDING OR EXCAVATING ON THIS PROJECT.

All or a portion of this survey was performed by GPS. Approximately 95% of this survey was GPS (Equipment: LEICA GS18) and 5% was robotic total station (Equipment: Trimble S6). Type of GPS was Real Time Kinematic (RTK). The field data upon which this plat is based was processed using the National Geodetic Survey's CORS network and NAD83 Georgia West Zone. The horizontal accuracy for this survey is ±0.02 meters. All distances shown on this plat are surface distances.

Note: The surveyor hereon has made no investigative or independent search for encumbrances of record. Encumbrances, restrictive covenants, ownership title evidence or any other facts that a current title search may disclose.

Note: This plat was prepared for the exclusive use of the person, persons or entity named hereon. This plat does not extend to any person, persons or entity without the express recertification of the surveyor naming such person, persons or entity.

This property is in Zone "V", Federal Flood Area as indicated by FEMA Official Hazard Map and Flood Map No. 13247C0091D, Dated: 12/08/2016.

Return to:
O'Kelley & Sorohan, Attorneys at Law, LLC
2170 Satellite Blvd, Suite 375
Duluth, GA 30097
File No.: 17-241370-BSG

Participant ID(s): 8274269752,
7067927936

BK 7702 PG 260 - 262

STATE OF Georgia
COUNTY OF Gwinnett

LIMITED WARRANTY DEED

THIS INDENTURE, made on 22nd day of September, 2023, between

Emmanuel Haitian Church, Inc. of the Christian and Missionary Alliance

(hereinafter referred to as "Grantor") and

Crawford Creek Development, LLC

(hereinafter referred to as "Grantee"), the words "Grantor" and "Grantee" to include the heirs, executors, legal representatives, successors and assigns of said parties where the context requires or permits; WITNESSETH:

THAT Grantor, for and in consideration of the sum of TEN DOLLARS (\$10.00) AND OTHER GOOD AND VALUABLE CONSIDERATIONS, in hand paid, at and before the sealing and delivery of these presents, the receipt of which is hereby acknowledged by Grantor, has granted, bargained, sold and conveyed, and by these presents does grant, bargain, sell and convey unto Grantee,

See Exhibit "A" attached hereto and incorporated herein by reference.

TOGETHER WITH all and singular the rights, members and appurtenances thereto (hereinafter collectively referred to as the "Premises"), the same being, belonging, or in anywise appertaining to the only proper use, benefit and behoof of Grantee.

Subject to all easements, rights of way, and restrictive covenants of record (hereinafter referred to as the "Exceptions").

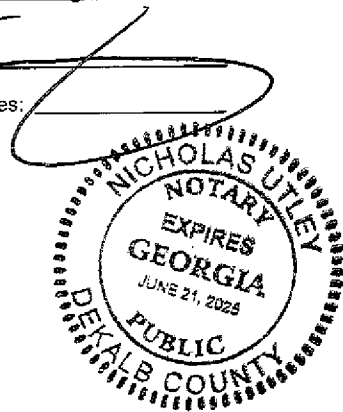
TO HAVE AND TO HOLD the Premises, subject to the Exceptions, to the only proper use, benefit and behoof of Grantee, forever, in FEE SIMPLE, and Grantor will, subject to the Exceptions, warrant and forever defend the right and title to the Premises unto Grantee against the claims of all person claiming by, through or under Grantor, but not otherwise.

IN WITNESS WHEREOF, Grantor has executed this instrument under seal, as of the date first above written.

Signed, sealed and delivered
in the presence of:

[Signature]
Unofficial Witness

Notary Public
Commission expires:



Emmanuel Haitian Church, Inc. of the Christian and Missionary Alliance

BY: *[Signature]*
Maurice Saint-Amour
Pastor/CEO

BY: *[Signature]*
Raymond Saint-Amour
Secretary

Exhibit "A"

All that tract or parcel of land lying and being in Land Lots 267 and 268 of the 16th District, Rockdale County, Georgia, Plat for Emmanuel Haitian Church, Inc. Subdivision, per plat thereof recorded in Plat Book 36, Page 144, Rockdale County, Georgia Records, which recorded plat is incorporated herein by reference and made a part of this description.

Together with:

ALL THAT TRACT or parcel of land lying and being in Land Lot 267 of the 16th District of Rockdale County, Georgia and being more particularly described as follows:

COMMENCE at the intersection of Johnson Road (80' R/W) and Klondike Road (80' R/W), THENCE South 13 degrees 59 minutes 28 seconds West a distance of 945.02 feet to a IPF ½" RB on the western Right of Way of Johnson Road (80' R/W), said point being the TRUE POINT OF BEGINNING.

THENCE along a curve to the left having a radius of 1,881.03 feet and an arc length of 200.95 feet, being subtended by a chord of South 05 degrees 24 minutes 30 seconds West for a distance of 200.85 feet to a IPF ½" RB on the western R/W of Johnson Road (80' R/W); THENCE leaving said R/W South 85 degrees 55 minutes 40 seconds West for a distance of 101.39 feet to a IPF 1" OTP; THENCE South 77 degrees 42 minutes 00 seconds West for a distance of 1,090.72 feet to a IPF ½" RB; THENCE North 01 degrees 08 minutes 49 seconds East for a distance of 189.40 feet to a IPF ½" RB; THENCE North 78 degrees 02 minutes 59 seconds East for a distance of 1,208.14 to the TRUE POINT OF BEGINNING.

Said property contains 4.99 Acres

SECTION A - SELLER'S INFORMATION (Do not use agent's information)				SECTION C - TAX COMPUTATION	
SELLER'S BUSINESS / ORGANIZATION / OTHER NAME Emmanuel Haitian Church, Inc. of the Christian Missionary ...*				Exempt Code If no exempt code enter NONE NONE	
MAILING ADDRESS (STREET & NUMBER) 3830 Ansley Park Dr.				1. Actual Value of consideration received by seller Complete Line 1A if actual value unknown \$109,500.00	
CITY, STATE / PROVINCE / REGION, ZIP CODE, COUNTRY Suwanee, GA 30024 USA		DATE OF SALE 9/22/2023		1A. Estimated fair market value of Real and Personal property \$0.00	
SECTION B - BUYER'S INFORMATION (Do not use agent's information)				2. Fair market value of Personal Property only \$0.00	
BUYER'S BUSINESS / ORGANIZATION / OTHER NAME Crawford Creek Development, LLC				3. Amount of liens and encumbrances not removed by transfer \$0.00	
MAILING ADDRESS (Must use buyer's address for tax billing & notice purposes) 201 Insperon Drive				4. Net Taxable Value (Line 1 or 1A less Lines 2 and 3) \$109,500.00	
CITY, STATE / PROVINCE / REGION, ZIP CODE, COUNTRY Grovetown, GA 30813 USA		Check Buyers Intended Use () Residential () Commercial () Agricultural () Industrial		5. TAX DUE at .10 per \$100 or fraction thereof (Minimum \$1.00) \$109.50	
SECTION D - PROPERTY INFORMATION (Location of Property (Street, Route, Hwy, etc))					
HOUSE NUMBER & EXTENSION (ex 265A)		PRE-DIRECTION, STREET NAME AND TYPE, POST DIRECTION			SUITE NUMBER
COUNTY ROCKDALE		CITY (IF APPLICABLE)		MAP & PARCEL NUMBER 044001044D	ACCOUNT NUMBER
TAX DISTRICT	GMD	LAND DISTRICT	ACRES	LAND LOT	SUB LOT & BLOCK
SECTION E - RECORDING INFORMATION (Official Use Only)					
DATE		DEED BOOK	DEED PAGE	PLAT BOOK	PLAT PAGE

ADDITIONAL BUYERS

None

...* This symbol signifies that the data was too big for the field. The original values are shown below.

SELLER'S BUSINESS NAME: Emmanuel Haitian Church, Inc. of the Christian Missionary Alliance

BOARD OF COMMISSIONERS

OSBORN NESBITT, SR., CHAIRMAN
Sherri L. Washington, Esq., Commissioner Post I
Dr. Doreen Williams, Commissioner Post II

ROCKDALE WATER RESOURCES

KIMBRY L. PEEK, SR., DIRECTOR
DAVID CERVONE, PE PRINCIPAL ENGINEER
TELEPHONE 770-278-7432
FACSIMILE: 770-918-6529



Rockdale Water Resources
ENGINEERING DIVISION

December 21, 2023

Ramona Booker
Planners & Engineers Collaborative
350 Research Court #200
Peachtree Corners, GA 30092

Dear Ramona Booker,

As of the date of this letter, this letter confirms Rockdale County has public water service available for your site at 1079 Johnson Rd SW, Conyers, GA 30094.

If you should have any questions, please contact us at 770-278-7450.

Sincerely,
Rockdale Water Resources
Engineering Division

“Rockdale Water Resources is perfectly positioned to provide the ultimate resource – WATER”



December 19, 2023

Ramona Booker
Planners & Engineers Collaborative
350 Research Court #200
Peachtree Corners, Ga. 30092

Thank you for your request regarding:

Property: Johnson Rd. SW Road Project
Location: 1079 Johnson Rd. SW Conyers, GA 30094

Comcast has facilities in this area and could potentially be the service provider for this property. However, this information is submitted to you under the following conditions:

1. This is not an agreement or bid to begin work.
2. Service to the property will be based upon easement allowances made via final plat.
3. This letter does not bind or commit Comcast to any construction schedule.

If we may provide any additional information, or if you have questions, please feel free to contact me at.



John Pauley
Development Expansion Professional
Georgia Market
Phone: 770-870-9949
Email: john_pauley@cable.comcast.com

The information contained in this communication is privileged and confidential. The content is intended only for the use of the individual or entity named above. If the reader of this message is not the intended recipient, you are hereby notified that any dissemination, distribution or copying of this communication is strictly prohibited. If you have received this communication in error, please notify me immediately by telephone or e-mail, and delete this message from your systems.



Matthew Carter
Outside Plant Engineer
AT&T Georgia
7264 Industrial Blvd
Covington, Georgia 30014
Email: mc7737@att.com

T:
M: 770-910-0425

DECEMBER 21, 2023

Ramona Booker
Resource Coordinator/Permit Expeditor
350 Research Court
Suite 200
Peachtree Corners, GA 30092

Project: SW JOHNSON RD (1079)
1079 SW JOHNSON RD
Nearest Intersection:
County: Rockdale

Parcel#: 044001044D

City: Conyers

Dear Ramona Booker,

This letter is in response to your request for information on the availability of service in the area of 1079 SW JOHNSON RD, Conyers, GA by AT&T.

This letter acknowledges that the above referenced area is located in an area served by AT&T. Any service arrangements for the location will be subject to later discussions and agreements between the developer and AT&T. Please be advised that this letter is not a commitment by AT&T to provide service to The Area Specified.

Please contact me at the phone number included in this letter with any questions.

Sincerely,

A handwritten signature in blue ink, appearing to read "Matthew Carter".

Matthew Carter
770-910-0425
Mc7737@att.com
Mgr OSP Plng & Engrg Design
Construction and Engineering



Bill Barnes
New Business Coordinator

10 Peachtree Pl
Atlanta, GA 30309
404 584 3690 tel
bbarnes@southernco.com

12/19/23

Ramona Booker
Planners and Engineers Collaborative, Inc.
350 Research Ct Peachtree Corners, GA 30092

RE: 1079 Johnson Rd SW Conyers, GA 30094

Dear Ramona,

This is to advise you that natural gas is presently available to serve the above residential location.

This is to further advise you that natural gas service will be made available to the above referenced project, in accordance with the Rules and Regulations governing our operations on file with the Georgia Public Service Commission at the time said service is requested **(the “Rules”), which may require that customer contribute to any excess installation costs (as calculated pursuant to the Rules).**

Please contact Aiyana Abron, 678-243-8656 regarding gas installation.

Sincerely,

A handwritten signature in cursive script that reads "Bill Barnes".

Bill Barnes



TECHNICAL REVIEW ROUTE SHEET

DEPARTMENT OF PLANNING & DEVELOPMENT

DATE RECEIVED: 3/12/24

Case Number: REZ2024-03

Case Address: 1079 Johnson Rd

() Environmental Health

() Fire

() GIS

() Storm water / E&SC

(X) Transportation

() Water / Sewer

() Zoning

() Legal

() Rockdale Board of Education

REVIEWED BY / DATE: Rebeca Solomon, 4/3/24

DEPARTMENT: RDOT

Department/Agency Comments

Please specify if the development is proposed as a private development, or public.

If the roads are proposed to be public, the following design criteria needs to be changed: all roads need to end in a cul-de-sac, and all parking must be off-street and separated by a strip of land at least ten feet wide (sec. 222-7(a)(1)c)

Recommend Zoning Conditions

Additional comments and requirements may be necessary based on proposed plan set.

REVIEWER: Rebeca Solomon

DATE: 4/3/24



TECHNICAL REVIEW ROUTE SHEET

DEPARTMENT OF PLANNING & DEVELOPMENT

DATE RECEIVED: 3/12/24

Case Number: REZ2024-03

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Recommend Zoning Conditions

Additional comments and requirements may be necessary based on proposed plan set.

REVIEWER: Rebeca Solomon

DATE: 4/3/24



TECHNICAL REVIEW ROUTE SHEET

DEPARTMENT OF PLANNING & DEVELOPMENT

DATE RECEIVED: 2/08/2024

Case Number: REZ2025-03

Case Address: 1079 Johnson Rd

- () Environmental Health
- () GIS
- () Transportation
- () Zoning
- () Rockdale Board of Education

- () Fire
- () Storm water / E&SC
- (X) Water / Sewer
- () Legal

REVIEWED BY / DATE: _____ Tim Cotton 03/25/2024 _____

DEPARTMENT: _____ Water and Sewer _____

Department/Agency Comments

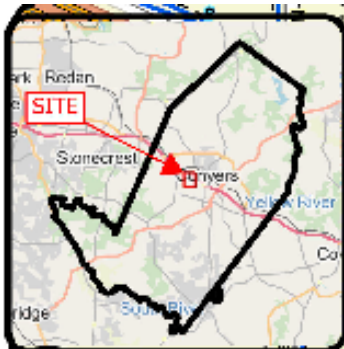
Existing 8" CIP Water main at site. Public 6" Wastewater is serviced by a force main. See Map Attached

Recommend Zoning Conditions

REVIEWER: _____ Tim Cotton _____ DATE: _____ 03/25/2024 _____

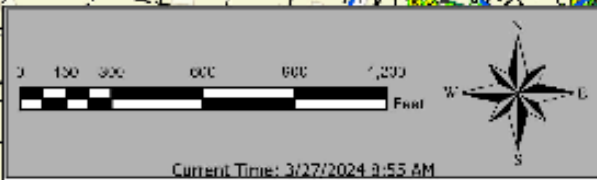
WATER AND SEWER MAP

THIS DRAWING IS NOT AN ASBUILT AND SHOULD NOT BE USED AS ONE. THIS DRAWING IS THE COMBINED INFORMATION OF DEVELOPERS RECORDS AND THEREFORE SHOULD NOT BE SUBSTANTIATED AS ACCURATE.



Legend:

- SEWER MANHOLE**
 - Private (Red circle with 'P')
 - Public (Green circle with 'P')
- SEWER MAIN**
 - Private (Red line)
 - MISC (Blue line)
 - NULL (Grey line)
- SEWER PUMP STATION**
 - Proactive (Green square)
 - Inactive (Red square)
 - Cell other values (Yellow square)
- SEWER FORCE MAIN**
 - In Service (Yellow line)
 - Abandoned (Red line)
 - Proposed (Blue line)
 - Cell other values (Yellow line)
- WATER HYDRANT**
 - Public (Blue circle)
 - Private (Yellow circle)
 - Cell other values (Yellow circle)
- WATER VALVE**
 - Open (Yellow circle with 'X')
 - Closed (Red circle)
 - Nil (Yellow circle)
 - Cell other values (Yellow circle)
- WATER MAIN**
 - MISC (Blue line)
 - Abandoned (Red line)
 - Private (Red line)
 - Other County (Grey line)
 - Public (Blue line)
 - Intussus (Orange line)
 - Sim Joints (Yellow line)
 - Major Rivers (Blue line)
 - County Boundary (Black dashed line)
 - Prop by Parcel (Red shaded area)





TECHNICAL REVIEW ROUTE SHEET

DEPARTMENT OF PLANNING & DEVELOPMENT

DATE RECEIVED: 04/03/2024

Case Number: REZ2024-03

Case Address: 1079 Johnson Rd

- () Environmental Health
- () GIS
- () Transportation
- () Zoning
- () Rockdale Board of Education

- () Fire
- (X) Storm water / E&SC
- () Water / Sewer
- () Legal

REVIEWED BY / DATE: Maceso Evans

DEPARTMENT: STORMWATER

Department/Agency Comments

Based on the submitted rezoning documents, there are existing State waters, Future Flood, Wetlands and Tree Protection that must be protected with no adverse impact as it relates to the Stormwater Management Department.

ARTICLE IV – STREAM BUFFER PROTECTION Sec. 310 – 103 Land development stream buffer requirements.

(a) All land development activity, including subdivisions of land and platting activities governed by chapter 302 of the UDO, shall meet the following buffer and setback requirements unless otherwise exempted in this article:

(1) An undisturbed natural vegetative buffer shall be maintained for 50 feet, measured horizontally, on both banks (as applicable) of the stream as measured from the top of the stream bank.

(2) An additional setback shall be maintained for 25 feet, measured horizontally, beyond the undisturbed natural vegetative buffer, in which all impervious cover shall be prohibited. Grading, filling, and earthmoving shall be minimized within the setback.

(3) No septic tanks or septic tank drain fields shall be permitted within the buffer or the setback.

(b) Any land development activity within a buffer established hereunder or any impervious cover within a setback established hereunder is prohibited unless a variance is granted pursuant to section 310-105.

CHAPTER 320 – FLOOD DAMAGE PREVENTION

Sec. 320-1. - Introduction.

(a) It is hereby determined that:

(1) The flood hazard areas of Rockdale County, GA are subject to periodic inundation which may

result in loss of life and property, health and safety hazards, disruption of commerce and governmental services, extraordinary public expenditures for flood relief and protection, and impairment of the tax base, all of which adversely affect the public health, safety and general welfare.

(2) Flood hazard areas can serve important stormwater management, water quality, streambank protection, stream corridor protection, wetland preservation and ecological purposes when permanently protected as undisturbed or minimally disturbed areas.

(3) Effective floodplain management and flood hazard protection activities can:

- a. Protect human life and health,
- b. Minimize damage to private property,
- c. Minimize damage to public facilities and infrastructure such as water and gas mains, electric, telephone and sewer lines, streets and bridges located in floodplains, and
- d. Minimize expenditure of public money for costly flood control projects associated with flooding and generally undertaken at the expense of the general public.

(b) Article IX, Section II of the Constitution of the State of Georgia and Section 36-1-20(a) of the Official Code of Georgia Annotated have delegated the responsibility to local governmental units to adopt regulations designed to promote the public health, safety, and general welfare of its citizenry. Therefore, Rockdale County, GA, does ordain this chapter and establishes this set of floodplain management and flood hazard reduction provisions for the purpose of regulating the use of flood hazard areas. It is determined that the regulation of flood hazard areas and the prevention of flood damage are in the public interest and will minimize threats to public health and safety, as well as to private and public property.

CHAPTER 328 – BUFFERS, LANDSCAPING, AND TREE PROTECTION

Sec. 328-15. - Authority, findings, purpose and intent.

(a) *Authority.* This article is enacted pursuant to the county's exclusive planning authority granted by the Constitution of the State of Georgia, including but not limited to Ga. Const. art. IX, § II, para. IV, and Ga. Const. art. IX, § II, para. III, as well as authority granted by the General Assembly of the State of Georgia, including but not limited to O.C.G.A. § [36-70-3](#), as well as 1977 Ga. Laws, page 2817, as amended, and 1969 Ga. Laws, page 3639, as amended, and the general police powers of the county and other authority provided by federal, state and local laws applicable to this article.

(b) *Findings, purpose, and intent.* It is the intent of this article to provide standards for landscaping and for the preservation and replacement of trees as part of the land development and building construction process in unincorporated areas of the county. The county finds that the existence of adequate tree cover and landscaping in the county directly affects the public health, safety and welfare to comprehensively address these concerns through the adoption of the regulations in this article. The purpose and intent of the board of commissioners in enacting this article are as follows:

(1) To protect the health, safety and general welfare of the citizens of the county, and to implement the policies and objectives of the comprehensive plan through the enactment of a comprehensive ordinance governing tree preservation and replacement in the county.

(2) To require landscaping and the preservation and replacement of trees in certain areas within the county in order to ensure the continued health of its citizens through improved air and water quality.

(3) To provide developers and others active in the county with the appropriate guidance to better ensure proper tree preservation and replacement in the course of the land development process in the county.

- (4) To preserve property values in the county by maintaining a safe, aesthetically pleasing environment.
- (5) To reduce flooding of county rivers and streams by planting trees and other vegetation so as to aid in slowing the rate of stormwater runoff.
- (6) To reduce soil erosion in the county by planting trees and other vegetation so as to aid in prevention of soil loss through stormwater runoff and flooding and to promote stormwater infiltration.
- (7) To reduce noise and glare on adjacent properties from properties that has been extensively developed.
- (8) To conserve energy by cooling surrounding air temperatures through the existence of adequate shade trees.
- (9) To provide improved atmospheric quality by reducing airborne particulates and carbon monoxide and by increasing oxygen through adequate tree cover.
- (10) To promote the saving of trees in nodes throughout a development, rather than as individual trees scattered over a development or around the periphery of a development.
- (11) To prevent clear-cutting and mass grading of land that results in the loss of mature trees, and to ensure appropriate replanting when tree loss does occur.

Sec. 328-25. - Requirements for other developments.

- (a) Each new development not covered by [section 328-24](#) shall prepare a landscape and tree protection and replacement plan showing compliance with this section.
- (b) The tree protection and replacement plan must, at a minimum, protect or plant 15 units per acre of trees on the land being developed. The tree density calculations shall not utilize trees within required buffers in determining for the overall density factor, existing density factor, or replacement density factor. All new development with eight (8) or more parking spaces, or expanded development that results in eight (8) or more parking spaces, shall provide interior landscaping.
- (c) Rockdale County has given priority to the retention and placement of trees in frontage planting strips and parking lot planting islands. Trees retained or placed in these areas may be used to meet the tree density factor for a project. However, if the tree density factor is met with trees saved or planted in other areas, the tree location guidelines outlined below must still be performed with additional tree plantings.
- (d) *Required landscape strips and re-vegetated buffers.* Landscape strips shall meet the minimum depth requirements as indicated in the following table. Trees may be planted in groups rather than in a single line. Adjoining residential zoning districts, evergreen trees shall be saved or planted in such density or spacing as to provide an eight-foot tall visual barrier within two years of planting. Required landscaping strips shall not be encroached upon by parking space, driveway surfaces or storm water detention facilities except when complying with requirements below. Driveway crossings may traverse such strip as near to a perpendicular alignment as practical. Signs may be located in the required landscape strip.

Recommend Zoning Conditions

Proposed development must comply with all Rockdale County Land Disturbance requirements.

REVIEWER: Maceso Evans

DATE: 4/03/24